



# BUFFALO COUNTY FACILITIES OMP

PO BOX 1270 KEARNEY, NE 68848

# Request for Proposal (RFP) for Buffalo County 321 Central Remodel Project At the Buffalo County 321 Building, 321 Central Ave., Kearney, NE

Bidders are invited to submit a formal Proposal for the building improvements on the Buffalo County 321 Building. Work is to be performed as per the plans and specifications from Wilkins ADP.

Bidders shall submit their sealed proposals **no later than Tuesday**, **March 26**, **2024 at 8:30am** to the following physical location: Buffalo County Clerk – 1512 Central Avenue, Kearney, NE 68847. The sealed proposals shall be clearly labeled "**Request for Proposal Buffalo County 321 Central Remodel Project**". Proposals will be opened and read aloud during the regularly scheduled Board of Commissioners' meeting that begins at 9:00am on March 26, 2024. The Board of Commissioners may make a selection at that time, or elect to postpone a selection until a later date in order to more fully review and consider the proposals.

The Buffalo County Board of Commissioners reserves the right to reject any and all bids and to waive any informality in the bidding.

#### **General Conditions**

The following are the general conditions for the work to be performed.

#### Scope of Work

It is understood that except as otherwise specifically stated in the contract, the contractor shall provide and pay for all materials, labor, tools, equipment, and transportation of every nature and all other services and facilities of every nature whatsoever, necessary to execute, complete and deliver the work within the specified time. Permits and licenses necessary for the execution of work shall be secured by the Contractor. All supplies and material shall be new. Any work necessary to be performed after regular working hours shall be performed without additional expense to the County.

#### **Existing Conditions**

The Contractor, in undertaking the work under this contract, is assumed to have visited the premises and to have taken into consideration all conditions which might affect the work. No consideration will be given to any claims based on lack of knowledge of existing conditions. To arrange a site visit, please contact Stephen Gaasch, Buffalo County Facilities Director, via email at facilities@buffalocounty.ne.gov or phone at 308-224-0108.

#### **Insurance Requirements**

Prior to executing an Agreement for Services, the contractor will be required to provide the County proof of the required insurance and endorsement. Contractors are encouraged to contact their insurance carriers during the proposal stage to ensure that the insurance requirements can be met if selected.

•	Commercial General Liability Insurance	\$1,000,000
•	Worker's Compensation Insurance	\$500,000
•	Professional Liability Insurance	\$2,000,000
•	Automobile Liability Insurance	\$500,000
•	Excess/Umbrella Liability	\$2,000,000

#### **Qualifications Requirements**

As part of the Proposal, the contractor must demonstrate to the complete satisfaction of the County, that the contractor has the necessary certifications, licenses, facilities, ability and financial resources to execute the work in a satisfactory manner within the time specified; that the Contractor has had experience in work of the same or similar nature; and that the Contractor has past history and references which will assure the County of the Contractor's qualifications for executing the work.

#### **Taxes**

The County is a tax-exempt organization. A copy of the County's tax-exempt form will be furnished. This will be a tax-exempt project.

#### **Proposal Format**

Proposals should be submitted with the attached form, contain information required by the RFP, and submitted in a sealed envelope addressed to:

Buffalo County Clerk PO Box 1270 Kearney, NE 68848-1270 Sealed Proposals will be received until 8:30am on March 26, 2024. All Proposals shall be clearly marked with "**Buffalo County 321 Central Remodel Project**". The Proposals will be opened and read aloud during the regularly scheduled Board of Commissioners' meeting that begins at 9:00am on March 26, 2024.

#### **Plans & Specifications**

Copies of the plans and specifications for the project are available at the Buffalo County Facilities OMP office at 1407 1<sup>st</sup> Ave., Kearney, NE 68847. Contact Nikki at 308-236-1225 for more information.

#### **Deviations**

Any deviations from the scope of work indicated herein must be submitted in writing, clearly noted and explained in detail on a separate form, and attached to the submitted Proposal.

#### **Award of Contract**

The Board of Commissioners may make a selection at the time of bid opening, or elect to postpone a selection until a later date in order to more fully review and consider the proposals. The County may accept any Proposal offered on an all, partial, or none basis, or within funds available, whichever is in the best interest of the County.

#### Contract form

Upon selection, the County and Contractor will have a signed contract prior to any work being started.

#### **Changes in Contract**

The County will not be responsible for any change in the work involving extra cost unless approval in writing is furnished and approved by the Board of Commissioners before such work is begun.

#### Warranty

All materials and labor provided by the Contractor shall have the manufacturer's warranty as well as a 1-year workmanship warranty for the Contractor's installation work.

#### Clean Up Site

All outside and inside areas of the buildings and grounds shall remain clean and free of any construction debris. Disposal of construction debris will be provided by and at the expense of the Contractor. An allotted area will be allowed for material storage.

# SUCCESSFUL BIDDER WILL INSTALL PER PLANS AND SPECIFICATIONS PROVIDED BY WILKINS ACHITECTURE DESIGN PLANNING (Wilkins ADP) dated January 5, 2024.

#### **Contact Person**

If there are any questions regarding the RFP, please contact Stephen A. Gaasch, Buffalo County Facilities Director, Buffalo County Facilities OMP at <a href="mailto:facilities@buffalocounty.ne.gov">facilities@buffalocounty.ne.gov</a> or (308)224-0108.

# PROPOSAL FORM BUFFALO COUNTY 321 CENTRAL AVE REMODEL PROJECT

DUE NO LATER THAN 8:30 AM ON MARCH 26, 2024

#### All sealed Proposals must be delivered to the following address:

Buffalo County Clerk PO Box 1270 Kearney, NE 68848-1270

Name of Contractor:
Having carefully examined the Proposal requirements including the General Conditions, and the Request for Proposal for <b>Buffalo County 321 Central Remodel Project</b> , and addenda, and conditions affecting the work, the undersigned proposes to provide the required materials, services, warranties, and delivery of specified in the attached Proposal for the total sum not to exceed:
Selective Demolition bid:
Concrete bid:
Architectural Woodwork (Material Only) bid:
Finish Carpentry bid (Install casework, doors/hardware):
Aluminum Entrances, Glass/Glazing bid:
Framing/Drywall Installation bid:
Acoustical Ceilings bid:
Floor Coverings bid:
Painting bid:
Fire Alarm Bid:
Mechanical Complete bid:
Electrical bid:
General Conditions/Specialties bid:
GRAND TOTAL \$
Respectfully Submitted,
Name of Firm:

Address of Firm:	
Signature:	_
Telephone Number:	_
Submitter's Title:	
Name and Title of Contractor's Representative who will service contract:	

All bids must be completed and submitted on this bid form.

In submitting this Proposal, the Bidder agrees with the following:

- a. The bidder agrees that the bid shall not be withdrawn or altered for a period of Forty-Five (45) days after the date scheduled for submission of bids.
- b. To furnish all material, labor, tools, expendable equipment, and all utility and transportation services necessary to perform and complete, in a workmanlike manner, all the work required for the bid package in accordance with the documents prepared by Wilkins ADP.
- c. The bidder has visited the site and familiarized himself/herself with the local conditions affecting the cost of work at the place where the work is to be done.
- d. The bidder has examined the Contract Documents, Addendum(s) \_\_\_\_\_\_, and is familiar with all the conditions affecting the construction of the proposed project set forth by Wilkins ADP.

All bid packages are to be complete and comprehensive based on the plans and specifications provided.

All bid packages are to include Material, Labor and Equipment as required to complete the work unless noted otherwise in the bid package.

All bid packages are to include their own daily clean-up.

All bid packages shall include supplementary or miscellaneous items, appurtenances and devices incidental to or necessary for a sound, secure, complete and functional installation.

Buffalo County Facilities OMP plans on serving as the General Contractor/Construction Manager for this project.



# BUFFALO COUNTY 321 CENTRAL AVE REMODEL

321 Central Avenue Kearney, Nebraska, 68847

100% Construction Documents January 05, 2024



# <u>ARCHITECTURAL</u>

Demolition Floor Plan Overall Floor Plan

Reflected Ceiling Plan

Door Details, Materials List, Room Finish Schedule Finish Floor Plan

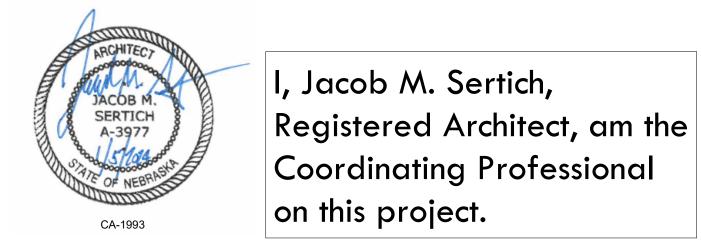
# **ELECTRICAL**

Electrical General Information First Floor Electrical Demolition Plan First Floor Lighting Plan E1.1 E2.1 First Floor Electrical Plan Second Floor Electrical Plan E3.1 Electrical Schedules & Details

# SYMBOLS AND ABBREVIATIONS

ROOM	ROOM NAME	D	DRAIN	NIC	NOT IN CONTRACT
(101)	ROOM NUMBER	DEMO	DEMOLISH, DEMOLITION	NOM	NOMINAL
		DF	DRINKING FOUNTAIN	NRC	NOISE REDUCTION COEFFICIENT
		DIAG DIAM	DIAGONAL DIAMETER	NTS	NOT TO SCALE
70	DOOR NUMBER	DIM	DIMENSION	OA	OVERALL
, [		DISP	DISPENSER	OC	ON CENTER(S)
^		DN	DIVISION	OD	OUTSIDE DIAMETER
(A)	WINDOW TYPE	DIV	DOWN	OD OH	OVERFLOW ROOF DRAIN OVERHEAD
		DR DS	DOOR DOWN SPOUT	OPH	OPPOSITE HAND
		DET	DETAIL	0111	011 00112 17 1112
X >	INTERIOR WALL ASSEMBLY	DWG	DRAWING	PED	PEDESTAL
		EA	EACH	PERF	PERFORATE(D)
EW-#	EXTERIOR WALL ASSEMBLY	EF	EACH FACE	PRE-FAB	PREFABRICATE(D)
<u> </u>	EXTENION WALL AGGLINDLY	EIFS	EXTERIOR INSULATION FINISH SYSTEM	FRE-FIN	PRE FINISHED
		EJ	EXPANSION JOINT	PL PLAM	PROPERTY LINE PLASTIC LAMINATE
A0.0 > 1	EXTERIOR ELEVATION	ELEC ELEV	ELECTRIC(AL) ELEVATION	PSF	POUNDS PER SQUARE FOOT
		ENV	ENVIRONMENTAL SERVICES	PSI	POUNDS PER SQUARE INCH
		EPDM	ETHYLENE, PROPYLENE, DIENE, TERPOLYMER	PVC	POLYVINYL CHLORIDE
(A0.0) 1	INTERIOR ELEVATION	EQ	EQUAL	PVMT	PAVEMENT
		EQUIP	EQUIPMENT	PLMB PLY WD	PLUMBING PLYWOOD
		EST EW	ESTIMATE EACH WAY		
$\begin{pmatrix} 1 \\ A0.0 \end{pmatrix}$	WALL AND DETAIL SECTION	EWC	ELECTRIC WATER COOLER	QTY	QUANTITY
		EXP	EXPANSION		
		EXG	EXISTING	R	RISER
		EXT	EXTERIOR	RAD	RADIUS
$\left(\begin{array}{c} 1 \\ 1 \end{array}\right)$	BUILDING SECTION	FD	FLOOR DRAIN	RCP	REINFORCED CONCRETE PIPE
A0.0		FE	FIRE EXTINGUISHER	RD REF	ROOF DRAIN REFERENCE
		FEC	FIRE EXTINGUISHER CABINET	REFR	REFRIGERATOR
_ (~~~)		FFE FF	FINISHED FLOOR ELEVATION	REV	REVISION(S), REVISED
	DETAIL ENLARGEMENT	FIN	FINISHED FLOOR FINISH(ED)	RFS	ROOM FINISH SCHEDULE
A0.0		FLR	FLOOR(ING)	RH RM	RIGHT HAND ROOM
		FND	FOUNDATION	RND	ROUND
( xx )—— —	GRID SYSTEM	FP	FIRE PROTECTION	RO	ROUGH OPENING
		FRP FT	FIBERGLASS REINFORCED PANEL FOOT	RTU	ROOF TOP UNIT
		FTG	FOOTING	RV	REVERSE (SIDE)
TYP. FIN. FLOOR 100' - 0"	FLOOR ELEVATIONS	FUR	FURRED (ING)	SF	SQUARE FEET
100 - 0		GA	GAGE, GAUGE	SIM SPEC	SIMILAR SPECIFICATION(S)
	SPOT ELEVATIONS	GALV	GALVANIZED IRON	SQ	SQUARE
XX' - X''	OF OT ELEVATIONS	GC	GENERAL CONTRACTOR	SS	STAINLESS STEEL
		GEN GFRG	GENERAL GLASS FIBER REINFORCED GYPSUM	STL	STEEL
		GL	GLASS, GLAZING	STOR	STORAGE
ACP	ACOUSTICAL CEILING PANEL	GWB	GYPSUM WALL BOARD	STRUCT SYM	STRUCTURAL SYMMETRY(ICAL)
ADJ AED	ADJACENT AUTOMATED EXTERNAL DEFIBRILLATOR	HC	HANDICAPPED	OTIVI	OTMINETAL (10/12)
AFF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL		
ALUM	ALUMINUM	HORIZ	HORIZONTAL	T&G	TONGUE & GROOVE
ALT	ALTERNATE	HSKP HT	HOUSE KEEPING / MAINTENANCE HEIGHT	TEL	TELEPHONE
ARCH AVG	ARCHITECT(URAL)			TO	TOP OF MACCAURY
	AVERAGE	INFO	INFORMATION	TOM TOS	TOP OF MASONRY TOP OF STEEL
BLDG	BUILDING	INSUL INT	INSULATE(ED), (ION) INTERIOR	TV	TELEVISION
BLKG BO	BLOCKING BOTTOM			TYP	TYPICAL
BRG	BEARING	JAN JT	JANITOR JOINT		
CIP	CAST IN PLACE	31	JOHNI		
CJ	CONTROL JOINT	KD	KNOCKED DOWN	UC	UNDER COUNTER
CL	CENTERLINE	KIT	KITCHEN	UNO	UNLESS NOTED OTHERWISE
CLNG	CEILING	L	LENGTH, LONG		
CLR CMU	CLEAR(ANCE) CONCRETE MASONRY UNIT	LAB	LABORATORY	VERT	VERTICAL
COL	COLUMN	LAM	LAMINATE(D)	VB	VAPOR BARRIER
COMB	COMBINATION	LAV LIN	LAVATORY LINEAR	V.I.F.	VERIFY IN FIELD
COMP	COMPRESS(ED), (ION), (IBLE)	LIIN	LINEAN		=
CONC CONST	CONCRETE	MAX	MAXIMUM	W W/	WIDTH, WIDE WITH
CONST	CONSTRUCTION CONTINUOUS OR CONTINUE	MFR	MANUFACTURE(R)	W/O	WITH
CONTR	CONTRACT(OR)	MIN	MINIMUM	WB	WALL BASE
CG	CORNER GÙARD	MISC MS	MISCELLANEOUS MOP SINK	WC	WATER CLOSET
CORR	CORRIDOR	MTL	METAL	WD WWF	WOOD WELDED WIRE FABRIC
				V V V I	WELDED WINE FADRIC





# **ARCHITECT**

WILKINS Architecture | Design | Planning LLC 2908 West 39th St Suite A Kearney, NE 68845 T: 308.237.5787 www.WilkinsADP.com

# MECHANICAL, PLUMBING, & ELECTRICAL ENGINEER

Engineering Technologies Inc. (ETI) 850 M St., Ste 200 Lincoln, NE 68508 T: 402.476.1273 eti-engineers.com

www.WilkinsADP.com

## **DEMOLITION GENERAL NOTES**

1. ALL WALLS, FRAMES, STRUCTURAL, AND BUILDING ELEMENTS SHOWN IN DARK DASHED LINE ARE TO BE REMOVED, UNLESS NOTED OTHERWISE. EXISTING BUILDING ELEMENTS TO REMAIN ARE SHOWN IN LIGHT LINES.

2. SEE WALL SECTIONS, MECHANICAL, AND ELECTRICAL DRAWINGS FOR DEMOLITION NOT SHOWN ON DEMOLITION PLAN.

3. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION SCHEDULES WITH THE OWNER PRIOR TO STARTING THE WORK.

4. PRIOR TO COMMENCING DEMOLITION WORK, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. ANY DISCREPANCY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

5. THE KEYNOTE NUMBERS SHOWN HEREIN ARE FOR ILLUSTRATION ONLY AND DO NOT INDICATE THE EXTENT TO THE NUMBER OF ITEMS TO BE REMOVED. THESE MUST BE FIELD VERIFIED BY THE CONTRACTOR AND COORDINATED WITH THE WORK TO BE COMPLETED UNDER THE CONTRACT.

6. THE CONTRACTOR SHALL COORDINATE ALL UTILITY DISCONNECTS AND REMOVALS WITH THE APPROPRIATE UTILITY COMPANIES.

7. THE CONTRACTOR SHALL NOT DAMAGE EXISTING ELEMENTS THAT ARE TO REMAIN. WHERE ITEMS TO BE REMOVED AND EMBEDDED IN THE

STRUCTURE, THEY SHALL BE REMOVED AND ALL AREAS PATCHED NEATLY TO MATCH EXISTING OR NEW FINISHES. 8. PATCH AND REPAIR ADJACENT SURFACES OF ALL REMOVED ITEMS OF ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND CIVIL WITH

9. "REMOVE" INDICATED REMOVAL AND DISPOSAL, UNLESS NOTED OTHERWISE.

10. THE OWNER SHALL HAVE THE RIGHT TO SALVAGE ALL ITEMS SHOWN TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND WHICH ARE TO BE DISPOSED.

11. CONTRACTOR TO COORDINATE ALL DEMOLITION, MECHANICAL, PLUMBING, AND ELECTRICAL CONSTRUCTION; SEE ELECTRICAL DRAWINGS.

# **DEMOLITION KEY NOTES**

1. REMOVE EXISTING WALL TO EXTENTS SHOWN, INCLUDING STRUCTURE, INSULATON, GWB (AND FINISHES) AND ASSOCIATED MEP DEVICES. SEE MECHANICAL AND ELECTRICAL.

2. REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY. PATCH AND REPAIR ADJACENT SURFACES. PREPARE OPENING FOR NEW CONSTRUCTION. PROTECT AND PRESERVE DOOR AND FRAME TO BE REUSED IN NEW CONFIGURED SPACES.

3. REMOVE EXISTING WINDOW IN ITS ENTIRETY, INCLUDING FRAME, SILL, AND ANY ASSOCIATED ROLLER SHADES/BLINDS. INFILL ACCORDING TO PLANS AND SECTIONS.

4. REMOVE EXISTING FLOORING AND BASE AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.

5. REMOVE CEILING IN ITS ENTIRETY. PREPARE FOR NEW CEILING. SALVAGE AND REUSE AS MANY CEILING TILES/PADS AS POSSIBLE.

6. REMOVE EXISTING CONCRETE SLAB TO EXTENTS SHOWN AS REQUIRED FOR NEW ELECTRICAL WORK. SEE ELECTRICAL. REMOVALS SHOWN ON PLANS ARE NOT EXACT.

7. REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY. PREPARE TO RECIEVE NEW DOOR.

8. REMOVE EXISTING BULKHEAD ABOVE AS REQUIRED FOR NEW CONSTRUCTION.

9. REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY. PATCH AND REPAIR ADJACENT SURFACES. PREPARE OPENING FOR NEW CONSTRUCTION.

10. REMOVE EXISTING PLUMBING FIXTURE IN ITS ENTIRETY, AND CAP PLUMBING LINES.

11. REMOVE EXISTING COUNTERTOP. EXISTING CASEWORK TO REMAIN. PROTECT AND PRESERVE EXISTING CASEWORK.







Revision/Issue

**Demolition Floor Plan** 

Project Number: 2352



## ARCHITECTURAL GENERAL NOTES 1. GENERAL NOTES APPLY TO ALL SHEETS. 2. ALL INTERIOR DIMENSIONS ARE ACTUAL AND ARE TO FACE OF G.W.B., FACE OF CMU WALLS, FACE OF CONCRETE WALLS, FACE OF FRAMES, OR CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE. 3. SEAL ALL DISSIMILAR MATERIAL JOINTS WITH SEALANT AS SPECIFIED. 4. ALL INTERIOR WALLS ARE TYPE "A" INTERIOR WALL ASSEMBLIES, UNLESS NOTED OTHERWISE. 5. ALL WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE, UNLESS NOTED OTHERWISE. 6. SCRIBE GYPSUM BOARD OF WALL AND PARTITIONS TO IRREGULARITIES OF DECK ABOVE. SEAL TIGHTLY AROUND ANY PARTITIONS. FILL IRREGULARITIES BETWEEN TOP OF WALL AND DECK ABOVE WITH FIRE SAFING INSULATION OR FIRE STOPPING MATERIALS AS REQUIRED TO MEET FIRE RATING OF RESPECTIVE WALLS. 7. SEE CODE PLAN AND FLOOR PLAN SHEETS FOR LOCATION OF WALLS OF FIRE-RESISTIVE CONSTRUCTION. ALL WALLS OF FIRE-RESISTIVE CONSTRUCTION SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE AND ACHIEVE PROPER FIRE-RESISTIVE RATING. 8. SEAL ALL PENETRATIONS THROUGH ALL WALLS. RATED WALLS SHALL BE SEALED WITH FIRE STOPPING MATERIAL AS REQUIRED TO ACHIEVE THE RESPECTIVE FIRE-RESISTIVE RATING AND SMOKE STOPPAGE. SEE PROJECT MANUAL. 9. THE CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING IN WOOD STUD PARTITIONS FOR THE PROPER ANCHORAGE OF ALL WALL ATTACHED ITEMS: I.E. TOILET ACCESSORIES, CASEWORK, MILLWORK, WALL-MOUNTED FIXTURES, MARKER BOARDS, TACK BOARDS, ETC. 10. GYPSUM BOARD SURFACES SHALL BE ISOLATED WITH CONTROL JOINTS WHERE SHOWN ON DRAWINGS AND AS DESCRIBED 11. THE CONTRACTOR SHALL FURNISH AND INSTALL WALL BASE (TYP) AROUND ALL CASEWORK AND MILLWORK. 12. SEE FURNITURE, FIXTURE, AND EQUIPMENT FLOOR PLANS AND NOTES FOR OWNER AND CONTRACTOR PROVIDED FURNITURE, FIXTURE, AND EQUIPMENT. 13. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR WITH ROUGH-IN INFORMATION NECESSARY TO ACCOMMODATE THE INSTALLATION OF OWNER FURNISHED AND INSTALLED ITEMS. 14. THE CONTRACTOR SHALL INCLUDE ALL OWNER FURNISHED AND INSTALLED ITEMS IN THE CONSTRUCTION SCHEDULE, AND SHALL COORDINATE WITH THE OWNER TO ACCOMMODATE THESE ITEMS. 15. THE OWNER SHALL BE RESPONSIBLE FOR ADHERING TO THE CONSTRUCTION SCHEDULE AS ESTABLISHED BY THE 16. CONTRACTOR SHALL COORDINATE ALL MECHANICAL CHASE SIZES WITH THE MECHANICAL SUB-CONTRACTOR AND ELECTRICAL CHASE SIZES WITH THE ELECTRICAL SUB-CONTRACTOR. 17. CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL SUB-CONTRACTORS SIZE AND LOCATION OF EQUIPMENT PADS. ALL HOUSEKEEPING PADS TO BE 4" RAISED SLABS AS DETAILED, UNLESS NOTED OTHERWISE. 18. DIMENSIONS FOR DOOR AND WINDOW OPENINGS ARE SHOWN NOMINAL. ALLOW FOR 1/4"-INCH (10) SHIM AND SEALANT OF 19. EXTEND PARTITIONS AND GYPSUM BOARD UP TO UNDERSIDE OF DECK ON ALL WALLS, UNLESS NOTED OTHERWISE. 20. SEAL ALL PENETRATIONS THROUGH ALL WALLS. 21. SEE WALL SECTIONS, ENLARGED PLANS, AND MEP FOR EXTERIOR AND INTERIOR WALL CONSTRUCTION NOT SHOWN ON THE FLOOR PLANS. 22. ALL FIRE EXTINGUISHERS CABINETS (FE-1) TO BE MOUNTED WITH TOP OF CABINET AT 54" A.F.F. WITH BOTTLE CONTROLS NO

23. PROVIDE CONTROL JOINTS IN GWB WALLS ABOVE ALL DOOR FRAMES. PROVIDE CONTROL JOINTS AT BOTH CORNERS ON BOTH SIDES OF THE DOOR FRAME FROM TOP OF DOOR TO CEILING. PROVIDE CONTROL JOINTS AT ALL PAINT COLOR CHANGES/TRANSITIONS THROUGHOUT, BOTH VERTICAL AND/OR HORIZONTAL. ALL CONTROL JOINTS MUST TERMINATE AT ONE

24. ARCHITECT TO SELECT ALL PRODUCT / MATERIAL COLORS FROM ALL AVAILABLE MANUFACTURER'S COLORS, UNLESS NOTED

27. CONTRACTOR'S ARE REQUIRED TO SCHEDULE A "MEET ME LOCATE" FROM DIGGERS HOTLINE OF NEBRASKA (NEBRASKA ONE CALL) 1-800-331-5666 PRIOR TO BEGINNING ANY EXCAVATION OR WORK ON THE PROJECT SITE. ATTENDANCE IS REQUIRED BY

25. ALL DOOR AND WINDOW JAMBS IN WOOD STUD WALLS SHALL BE OFFSET 4" FROM ADJACENT PERPENDICULAR WALLS,

26. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL DOORS CLEAR AT VARIOUS FLOOR FINISH THICKNESSES, TRANSITIONS, AND REDUCERS, AT ALL LOCATIONS; TRANSITION AND REDUCER TO BE PROVIDED AT ALL DISSIMILAR FLOORING

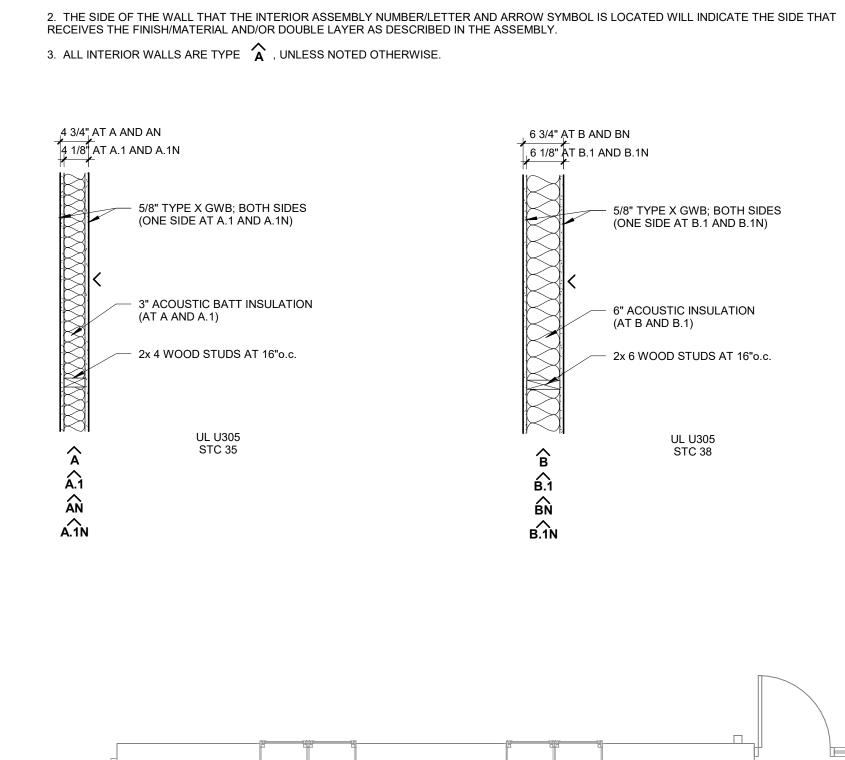
CONSTRUCTION MANAGER/OWNER'S REPRESENTATIVE, PERTINENT CONTRACTORS, AND ALL UTILITY COMPANIES.

28. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL SUB-CONTRACTORS FOR SIZE AND LOCATIONS OF PLYWOOD REQUIRED FOR WALL MOUNTED EQUIPMENT; ALL PLYWOOD TO BE PAINTED (COLOR TO MATCH WALL FINISH); SEE DETAIL ON

OF THE FOLLOWING: FLOOR, DOOR/FRAME, CEILING, OR ADJACENT PERPENDICULAR WALL.

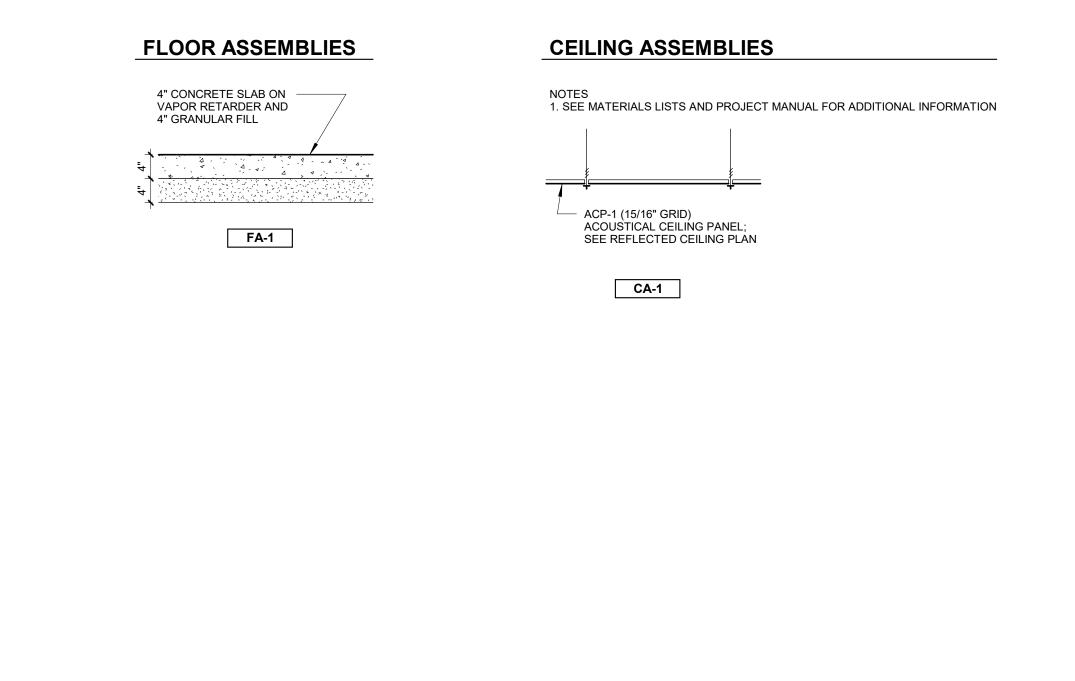
UNLESS NOTED OTHERWISE.

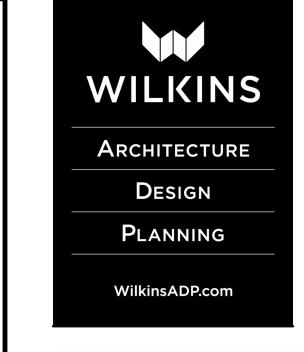
TYPE TRANSITIONS, SEE ROOM FINISH GENERAL NOTES.

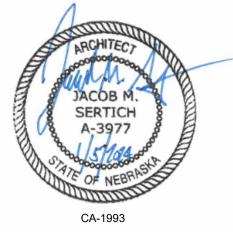


1. ALL INTERIOR WALLS WILL EXTEND FROM FINISHED FLOOR TO BOTTOM OF ROOF/FLOOR STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.

**INTERIOR WALL ASSEMBLIES** 









Project Number: 2352
Date: January 05, 2024

Copyright © 2024

WILKINS Architecture | Design | Planning L.L.C.

Overall Floor Plan

Revision/Issue

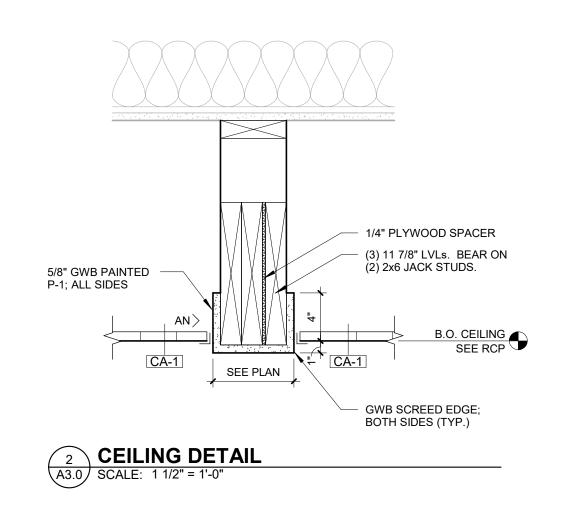
Sheet Number:

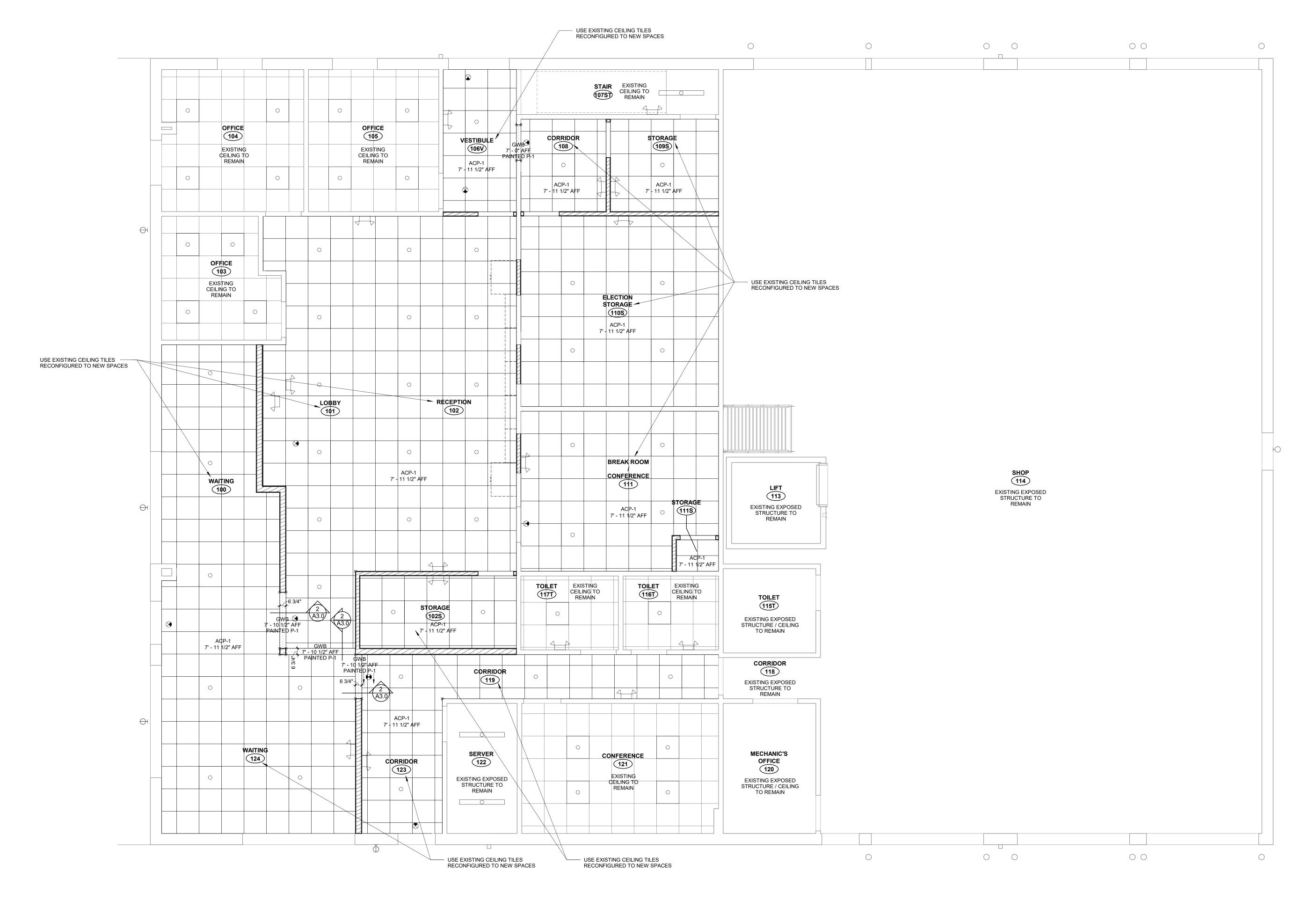
# REFLECTED CEILING NOTES

- 1. A.F.F. = ABOVE FINISHED FLOOR.
- 2. GWB = GYPSUM WALLBOARD.
- 3. ACP = ACOUSTICAL CEILING PANEL.
- 4. ALL VERTICAL AND HORIZONTAL BULKHEAD SURFACES TO BE PAINTED TO MATCH ADJACENT WALLS UNLESS NOTED OTHERWISE.
- 5. ALL BULKHEADS TO BE PAINTED GWB (P-1) WITH LEVEL 4 "SMOOTH" FINISH (SEE DETAILS AND INTERIOR ELEVATIONS).
- 6. ALL ACP CEILINGS TO BE SUSPENDED "ACP-1" UNLESS NOTED OTHERWISE.
- 7. ALL DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FACE OF GWB.

8. MECHANICAL AND ELECTRICAL FIXTURE SHOWN FOR COORDINATION ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS. ANY CONFLICTS TO BE VERIFIED WITH ARCHITECT PRIOR TO INSTALLATION.

9. CEILING HEIGHT TO BE 7'-11 1/2" AFF; UNLESS NOTED OTHERWISE.











BUFFALO COUNTY

321 CENTRAL AVE REMODEL

Karray Nahraska

Reflected Ceiling Plan

Project Number: 2352

Copyright © 2024

Date: **January 05, 2024** 

WILKINS Architecture | Design | Planning L.L.C.

## DOOR AND FRAME REMARKS

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL DOORS ALLOW FOR CLEARANCE OVER FINISH FLOORING, INCLUDING ANY AND ALL FLOORING TRANSITIONS/TRANSISTION STRIPS AND/OR REDUCING STRIPS. VERIFY FLOOR FINISHES AND ALL DOOR LOCATIONS WITH PLANS AND ROOF FINISH SCHEDULE.

2. DOOR IS LOCATED IN AN EXISTING OPENING. VERIFY DIMENSIONS OF EXISTING OPENING PRIOR TO FABRICATION. 3. DOOR HARDWARE (LOCKS, LEVERS, AND CLOSERS) TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

	DOOR AND FRAME SCHEDULE																
	DOOR						FRAME			GLAZING			REMA	RKS			
				MAIN							DEI	PTH			FIRE		
DOOR NO.	TYPE	WIDTH	# LEAFS	LEAF	HEIGHT	TYPE	MAT'L	FINISH	MAT'L	FINISH			TYPE	THK	RATING		
123	Α	3' - 0"	1		7' - 0"	FG	AL	AN	AL	AN	4 1/2"		ITT	1"		1,2,3	

## DOOR AND FRAME ABBREVIATIONS

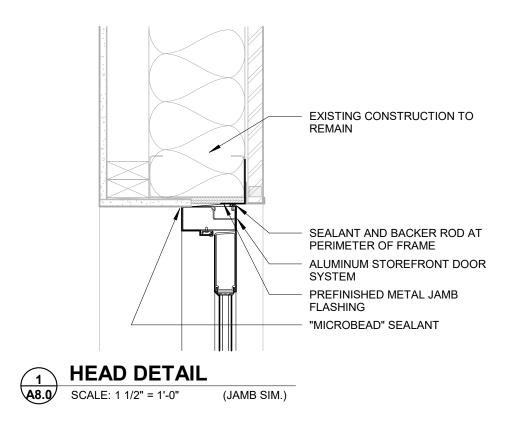
MATERIALS: FINISHES: AL = ALUMINUM AN = ANODIZED

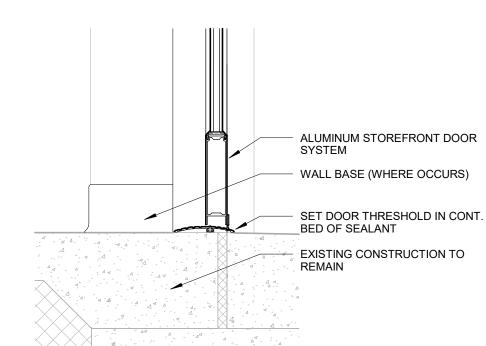
<b>GLASS TYPES</b>	

DOOR	TY	PE:

ITT = INSULATED TEMPERED TINTED (LOW-E)

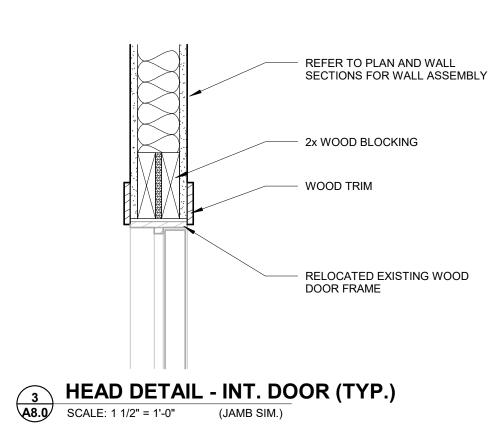
FG = FULL GLASS	

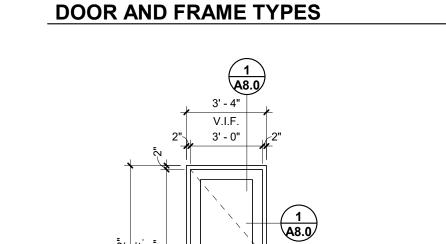




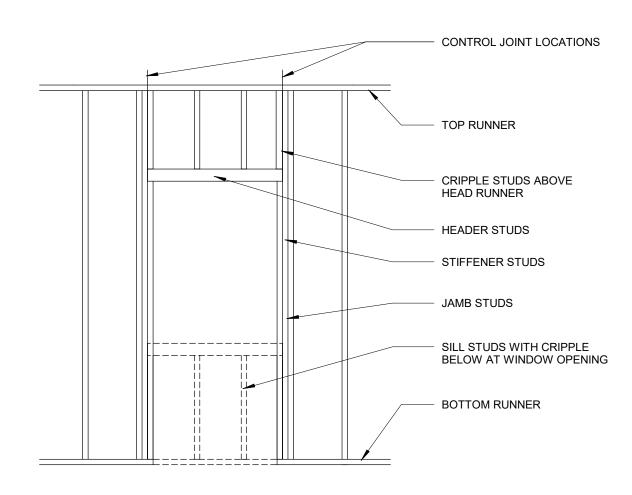
SILL DETAIL

A8.0 SCALE: 1 1/2" = 1'-0"





**EXTERIOR ALUMINUM STOREFRONT** THERMALLY BROKEN WIDE STYLE DARK BRONZE TO MATCH EXISTING 2" x 4 1/2"

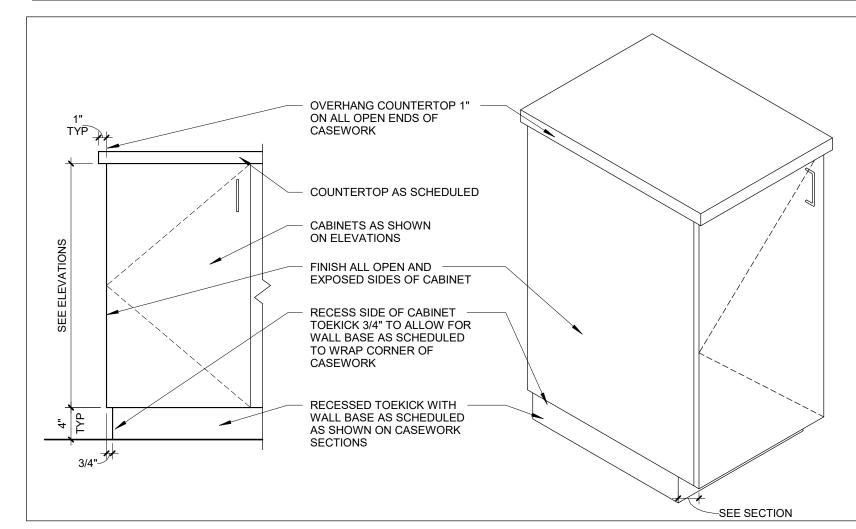




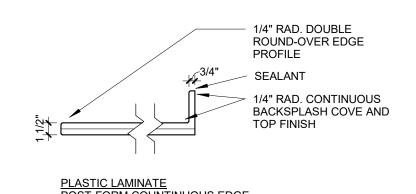
	ROOM				CASEWORK						WINDOW	
ROOM NO.	ROOM NAME	FLOOR	BASE	BASE	TOP	UPPER	NORTH	EAST	SOUTH	WEST	SILL COVERING	REMARKS
100	WAITING	WCPT-1 / CPT-1	WB-1	-	-	-	P-3	P-4	P-3	P-3	- RS	1,2,4
101	LOBBY	CPT-1	WB-1	EXISTING	EXISTING	-	P-3	-	P-3	P-3		1,2
102	RECEPTION	CPT-1	WB-1	EXISTING	EXISTING	-	P-3	P-4	P-3	-		1,2,3
102S	STORAGE	CPT-1	WB-1	-	-	-	P-3	P-3	P-3	P-3		1,2
103	OFFICE	CPT-1	EXISTING	-	-	-	-	-	-	-		1,2
104	OFFICE	CPT-1	EXISTING	-	-	-	-	-	-	-	- RS	1,2,4
105	OFFICE	CPT-1	EXISTING	-	-	-	-	-	-	-	- RS	1,2,4
106V	VESTIBULE	WCPT-1	WB-1	-	-	-	P-3	P-3	P-3	P-3		1,2
108	CORRIDOR	CPT-1	WB-1	-	-	-	P-3	P-3	P-3	P-3		1,2
109S	STORAGE	EXISTING	EXISTING / WB-1				P-3	P-3	P-3	P-3	-	1,2
110S	ELECTION STORAGE	CPT-1	WB-1	-	-	-	P-3	P-3	P-3	P-3		1,2
111	BREAK ROOM / CONFERENCE	CPT-1	EXISTING/ WB-1	WD / EXISTING	PL-2	-	P-3	P-3	P-4	P-3		1,2
111S	STORAGE											
119	CORRIDOR	CPT-1	WB-1	-	-	-	P-3	P-3	P-3	-		1,2
123	CORRIDOR	WCPT-1	WB-1	-	-	-	-	P-3	P-3	P-3		1,2
124	WAITING	WCPT-1 / CPT-1	WB-1	-	-	-	-	P-4	P-3	P-3	- RS	1,2,4

MATERIALS LIST										
KEY	DESCRIPTION	MANUFACTURER	PATTERN/STYLE	COLOR/NAME	REMARKS					
COUSTICAL CI	EILING PANEL									
CP-1	ACOUSTIC CEILING PANEL - 24"X24"	CERTAINTEED	BET-154	WHITE	INSTALL w/ ARMSTRONG PRELUDE XL 15/16" GRID					
ARPET										
:PT-1	CARPET - TILE 18" x 36"	J + J FLOORING	ADAPT 7602	WARM BEAM 3270	ASHLAR INSTALLATION					
VCPT-1	WALKOFF CARPET - TILE 24" x 24"	J + J FLOORING	CATWALK II	SPOTLIGHT 1427	QUARTER TURN INSTALLATION					
LASTIC LAMIN	ATE PLASTIC LAMINATE			MATCH EXISTING						
L-2	PLASTIC LAMINATE	FORMICA		CONCRETE STONE 7267-58	MATTE FINISH					
VALL BASE VB-1	VINYL BASE - 4"	TARKETT	TRADITIONAL VINYL - COVE	MATCH EXISTING						
VD-1	VIIVIE BAGE - 4	IARKETT	TRADITIONAL VINTE - COVE	WATCH EXISTING						
AINT										
·-1	PAINT	SHERWIN WILLIAMS		HIGH RELFECTIVE WHITE SW 7757	FLAT FINISH ON CEILINGS; ALL OTHER APPLICATIONS TO BE EGG-SHEL					
-2	PAINT	SHERWIN WILLIAMS		MATCH EXISTING						
-3	PAINT	SHERWIN WILLIAMS		PEARLY WHITE SW 7009	EGG-SHELL FINISH					
-4	PAINT	SHERWIN WILLIAMS		DOVETAIL SW 7018	EGG-SHELL FINISH					
IISCELLANEOL	S									
G-1	CORNER GUARD			MATCH EXISTING						
lS .	MANUAL ROLLER SHADE	DRAPER	3% OPENNESS	PW4600 - PEWTER						
VD	WOOD VENEER			TO MATCH EXISTING						

## CABINETRY/CASEWORK OPEN END DETAIL



# COUNTERTOP CONSTRUCTION DETAILS



# **ROOM FINISH REMARKS**

- 1. SEE INTERIOR ELEVATIONS AND FINISH FLOOR PLANS FOR VARIOUS FINISH DESIGNATIONS AND NOTES.
- 2. SEE FINISH FLOOR PLAN FOR FLOORING TRANSITION LOCATIONS. 3. SEE ELEVATIONS AND CASEWORK DETAILS FOR EXTENTS AND DETAILS OF FINISHES.
- 4. PROVIDE ROLLER SHADE ASSEMBLY AT INTERIOR WINDOW.

## ROOM FINISH GENERAL NOTES

1. SEE FINISH FLOOR PLANS AND ELEVATIONS FOR VARIOUS FINISH DESIGNATIONS AND NOTES. 2. ALL BULKHEADS AND CEILINGS TO BE PAINTED P-1 UNLESS NOTED OTHERWISE. REFER TO REFLECTED CEILING PLAN AND INTERIOR ELEVATIONS FOR VARIOUS PAINT DESIGNATIONS ON BULKHEADS. 3. ALL WALLS IN SCHEDULE TO BE PAINTED P-2 UNLESS NOTED OTHERWISE; VARIOUS FINISHES NOTED IN SCHEDULE, INTERIOR ELEVATIONS AND FINISH PLANS.

4. REFER TO FLOOR FINISH PLANS FOR LOCATIONS OF FLOORING TRANSITIONS, DESIGNS AND INSTALLATION METHODS; VERIFY ALL INSTALLATION METHODS AND LAYOUT PRIOR TO INSTALLATION. START FLOORING PATTERNS CENTERED WITHIN

DESIGNATED ROOMS; SMALL TILES ON EDGES NOT ACCEPTABLE. 5. AT ALL DISSIMILAR FLOOR FINISHES PROVIDE VINYL/METAL REDUCER/TRANSITION AS REQUIRED TO ACCOMMODATE VARIOUS FLOOR FINISH THICKNESSES; PROVIDE UNDERLAYMENT AS REQUIRED TO PROVIDE FLUSH TRANSITIONS BETWEEN FLOORING MATERIALS; SEE SPECIFICATIONS FOR DETAILS.

6. "-" ON ROOM FINISH SCHEDULE REPRESENTS NO FINISH NEEDED. 7. ALL EXPOSED COLUMNS, BEAMS, TIE RODS, TRUSSES, AND ROOF DECK ARE TO BE PAINTED PER ARCHITECTS

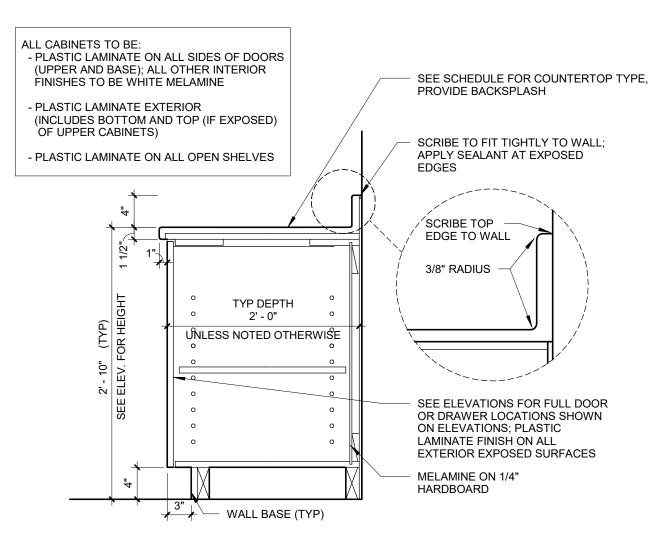
8. PROVIDE ROLLER SHADE (RS) FOR ALL EXTERIOR WINDOWS ONLY IN ROOMS SCHEDULED TO RECEIVE WINDOW COVERINGS; UNLESS OTHERWISE NOTED.

9. SKIM COAT & PAINT FOR LEVEL 5 FINISH (TYP) AT EXPOSED EXISTING WALLS TO REMAIN.

# CASEWORK GENERAL NOTES

1. SEE ROOM FINISH SCHEDULE, ELEVATIONS, AND CASEWORK DETAILS FOR EXTENTS AND DETAILS OF FINISHES. 2. ALL COUNTERTOPS TO BE SCRIBED TO FIT TIGHLY TO WALL; APPLY SEALANT AT EXPOSED EDGES. 3. SEE ROOM FINISH SCHEDULE FOR MATERIAL AT VARIOUS LOCATIONS; REFER TO COUNTERTOP CONSTRUCTION DETAILS ON SHEET A10.0 AND SPECIFICATIONS FOR FABRICATION AND INSTALLATION AS REQUIRED. 4. ALL CASEWORK TO BE INSTALLED WITH FINISHED ENDS AT ALL EXPOSED SIDES OR CABINETRY AND INSTALLED WITH FINISHED FILLER PANELS (INCLUDING HORIZONTAL AND VERTICAL SURFACE) AS REQUIRED FOR CABINETRY TO FIT FUNCTIONALLY ALONG SIDE ADJACENT WALLS. 5. PROVIDE WALL BASE ON ALL TOE-KICKS AND FINISHED EXPOSED ENDS OF CABINETRY AS SCHEDULED IN ROOM

6. AT EXPOSED FINISHED SIDES OF CASEWORK PROVIDE TOE-KICK REVEAL 3/4" OFF FACE OF CABINET. 7. TALL CABINETS SHOWN SIDE-BY-SIDE TO A COUNTER ARE REQUIRED TO BE MOVED FORWARD FROM THE BACK WALL; CABINET TO BE 2" IN FRONT OF ADJACENT COUNTERTOPS DEPTH; PROVIDE AND FINISH TOP FILLER AS REQUIRED TO







ARCHITECTURE

Design

PLANNING

WilkinsADP.com

Revision/Issue

Door Details, Materials List, Room Finish Schedule

Project Number: 2352 Date: **January 05, 2024** Copyright © 2024 WILKINS Architecture | Design | Planning L.L.C.









321 CENTRAL AVE REMODEL
Kearney, Nebraska

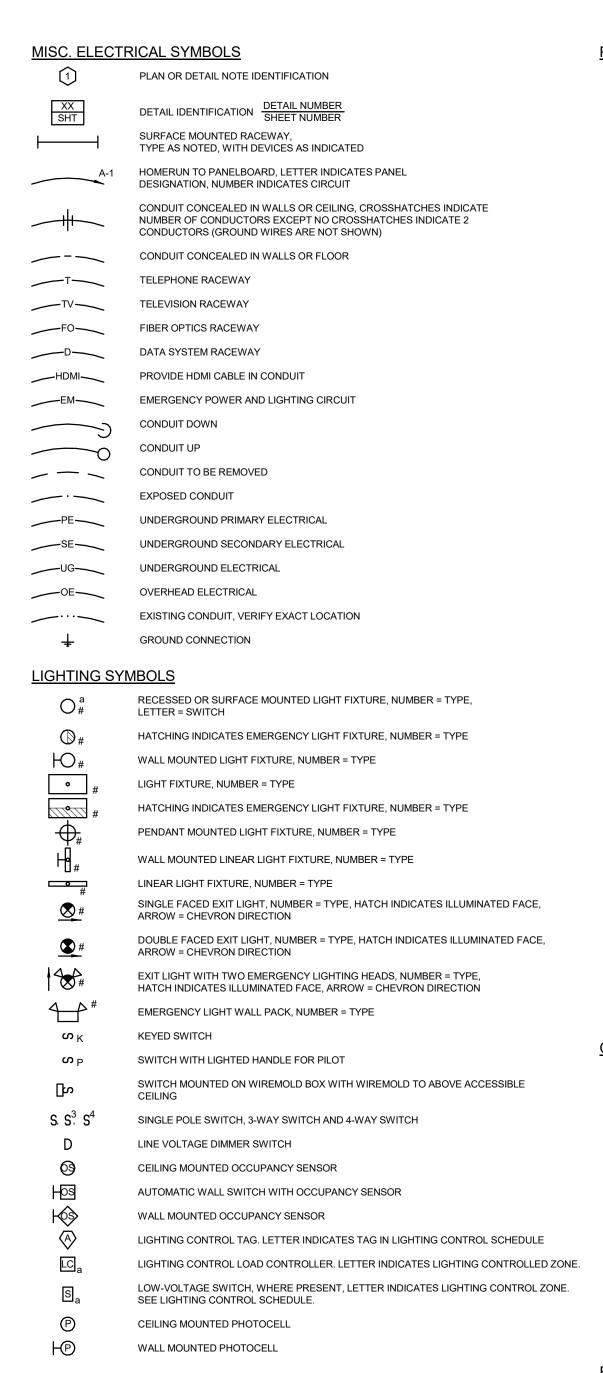
Revision/Issue Date

Finish Floor Plan

Project Number: 2352
Date: January 05, 2024

Copyright © 2024
WILKINS Architecture | Design | Planning L.L.C.





## POWER SYMBOLS DUPLEX CONVENIENCE RECEPTACLE - WP = WEATHERPROOF - GFCI = GROUND FAULT CIRCUIT INTERRUPTER - T = TAMPER RESISTANT - U = DUPLEX RECEPTACLE WITH USB PORTS - IG = ISOLATED GROUND RECEPTACLE, PROVIDE FULL SIZE GROUND WIRE EXTENDED BACK TO PANEL DUPLEX CONVENIENCE RECEPTACLE MOUNTED ON WIREMOLD BOX WITH WIREMOLD TO ABOVE ACCESSIBLE CEILING SPLIT WIRED DUPLEX RECEPTACLE DUPLEX CONVENIENCE RECEPTACLE MOUNTED HORIZONTAL 4-PLEX CONVENIENCE RECEPTACLE CEILING MOUNTED RECEPTACLE SPECIAL OUTLET OR CONNECTION, SEE PLAN AND SCHEDULE MULTI-SERVICE AV WALL BOX FLUSH MOUNTED DUPLEX FLOOR OUTLET MULTI-SERVICE FLOOR BOX THERMOSTAT GENERATOR MOTOR CONNECTION, SEE PLAN AND SCHEDULE SOLENOID VALVE PRESSURE SWITCH PUSH-BUTTON MOTOR CONTROL PUSH-BUTTON STATION JUNCTION BOX WALL MOUNTED JUNCTION BOX POWER POLE DRY-TYPE TRANSFORMER PAD-MOUNTED TRANSFORMER ELECTRICAL RELAY **BUZZER OR CHIME** MAGNETIC MOTOR STARTER COMBINATION MAGNETIC MOTOR STARTER/DISCONNECT SWITCH, FUSED UNLESS OTHERWISE NOTED HORSEPOWER RATED MANUAL MOTOR CONTROLLER WITH TOGGLE SWITCH MANUAL MOTOR STARTER WITH HORSEPOWER RATED TOGGLE SWITCH. PROVIDE THERMAL ELEMENT IF MOTOR IS NOT INTERNALLY PROTECTED TIME CLOCK DISCONNECT SWITCH - FUSED DISCONNECT SWITCH - NON FUSED SURFACE MOUNTED PANELBOARD RECESSED MOUNTED PANELBOARD DISTRIBUTION PANEL SWITCHBOARD **COMMUNICATION SYMBOLS** COMMUNICATIONS OUTLET, ROUGH-IN ONLY COMMUNICATIONS OUTLET, # INDICATES NUMBER OF CABLES / JACKS REQUIRED OF EACH TYPE, LETTER INDICATED TYPE OF JACK DATA OUTLET AT 46" ABOVE FINISHED FLOOR, COVERPLATE WITH MOUNTING LUGS DATA OUTLET MOUNTED ON WIREMOLD BOX WITH WIREMOLD TO ABOVE ACCESSIBLE CEILING WIRELESS ACCESS POINT FLOOR COMMUNICATIONS OUTLET TELEPHONE OUTLET TELEPHONE OUTLET AT 46" ABOVE FINISHED FLOOR, COVERPLATE WITH MOUNTING LUGS TELEPHONE OUTLET MOUNTED ON WIREMOLD BOX WITH WIREMOLD TO ABOVE FIRE ALARM SYMBOLS

FIRE ALARM WITH ADA COMPLIANT FLASHING LIGHT, WALL MOUNTED FIRE ALARM WITH ADA COMPLIANT FLASHING LIGHT, CEILING MOUNTED

FIRE ALARM MANUAL PULL STATION ELECTROMAGNETIC HOLD OPEN DEVICE

THERMAL HEAT DETECTOR CARBON MONOXIDE DETECTOR

FLOW SWITCH TAMPER SWITCH SMOKE DETECTOR

FIRE ALARM HORN WITH ADA COMPLIANT FLASHING LIGHT, WALL MOUNTED FIRE ALARM HORN WITH ADA COMPLIANT FLASHING LIGHT, CEILING MOUNTED

- CO = COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
- D = HVAC DUCT MOUNTED
- MS = 120V MULTI-STATION DETECTOR SOUNDER BASE
- SB = BUILDING SYSTEM DETECTOR WITH SOUNDER BASE
- LF = BUILDING SYSTEM DETECTOR WITH LOW-FREQUENCY 520Hz SOUNDER BASE

SECURITY SYMBOLS ELECTRONIC ACCESS CONTROLLED DOOR (REFER TO ACCESS CONTROL OPENING SCHEDULE) ELECTRONIC MONITORED DOOR (REFER TO ACCESS CONTROL OPENING SCHEDULE) SURVEILLANCE CAMERA, FOV = FIELD OF VIEW (WHEN INDICATED) ● P,L,D-# ("P" PANIC ALARM, "L" LOCKDOWN, "D#" DOOR RELEASE) ("M" MOTION SENSOR, "P" PUSH BUTTON) ("M" MASTER STATION, "S" SUB-STATION) CARD READER, "M" MULLION MOUNTED VIDEO INTERCOM 4" ABOVE COUNTERTOP OR BACKSPLASH TO CENTER ABOVE FINISHED FLOOR AUTOMATIC TRANSFER SWITCH AMERICAN WIRE GAUGE INDICATES EXISTING TO REMAIN INDICATES EXISTING J-BOX AND CONDUIT IN WALL TO BE REUSED **EMERGENCY** FRACTIONAL FIRE ALARM FIRE ALARM ANNUNCIATOR PANEL FIRE ALARM CONTROL PANEL KILOVOLT AMPERES KILOWATT NATIONAL ELECTRICAL CODE NATIONAL FIRE PROTECTION ASSOCIATION NIGHT LIGHT, CONNECT TO UNSWITCHED LIGHTING CIRCUIT REMOVE EQUIPMENT, INCLUDING MOUNTING HARDWARE, AND CONDUIT AND CONDUCTORS TO SOURCE OF SUPPLY, UNLESS OTHERWISE NOTED REMOVE AND RELOCATE ITEM. EXTEND EXISTING CONDUIT AND/OR CABLING AS REQUIRED TO NEW LOCATION, UNLESS OTHERWISE NOTED. REMOVE AND REPLACE WITH NEW DEVICE. REUSE BOX AND CONDUIT IN WALL AND PROVIDE NEW CONDUIT AND WIRING TO DEVICE AS REQUIRED STEEL RIGID METAL CONDUIT TYPICAL INDICATES WEATHERPROOF TRANSFORMER

**ELECTRICAL DEMOLITION GENERAL NOTES** A THESE PLANS INDICATE MAJOR ITEMS OF DEMOLITION IN THE PROJECT AND ARE NOT INTENDED TO INDICATE ALL DEMOLITION REQUIRED TO COMPLETE THE WORK. REMOVE ITEMS INDICATED ON THE DEMOLITION SHEETS AND ADDITIONAL ITEMS AS REQUIRED FOR DEMOLITION WORK. DEMOLITION SHALL BE COMPLETE INCLUDING, BUT NOT LIMITED TO, REMOVAL OF DESIGNATED EQUIPMENT AND ASSOCIATED CONDUIT, CABLES, CONDUCTORS, BOXES, DEVICES, MOUNTING HARDWARE, ETC. PATCH AND REPAIR WALLS AS REQUIRED TO MATCH THE ADJACENT FINISH. B REMOVE ALL DEVICES AND FIXTURES AND ALL ASSOCIATED WIRING AND EXPOSED CONDUIT, IN WALLS AND CEILING SPACES WHICH ARE BEING REMOVED. MAINTAIN CIRCUIT CONTINUITY FOR ALL DEVICES, EQUIPMENT, AND FIXTURES WHICH REMAIN. C FLUORESCENT LAMPS THAT ARE REMOVED SHALL BE BOXED AND RECYCLED IN ACCORDANCE WITH FEDERAL AND STATE ENVIRONMENTAL GUIDELINES. D FLUORESCENT BALLASTS THAT ARE MARKED AS "CONTAINS NO PCB'S" SHALL BE DISPOSED OF BY THIS CONTRACTOR. BALLASTS THAT CONTAIN PCB'S OR THAT ARE NOT MARKED "CONTAINS NO PCB'S" SHALL BE BOXED AND/OR PALLETIZED AND RECYCLED IN ACCORDANCE WITH FEDERAL AND STATE ENVIRONMENTAL GUIDELINES.

E EXISTING COMMUNICATIONS, COMPUTER NETWORKING, OR OTHER SPECIAL SYSTEMS CABLES SHALL BE SECURED AND PROTECTED DURING CONSTRUCTION. ANY CABLE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER (THE ENTIRE CABLE SHALL BE REPLACED AND TESTED FOR PROPER OPERATION IN THE PRESENCE

F OWNER SHALL HAVE FIRST SALVAGE RIGHTS FOR ALL FIXTURES, EQUIPMENT, DEVICES, PANELS, ETC. BEING REMOVED. CONTRACTOR SHALL DISPOSE OF ALL ITEMS NOT SALVAGED BY

G ALL ABANDONED COMMUNICATIONS CABLING, CONDUIT/RACEWAYS, DEVICES, AND EQUIPMENT SHALL BE REMOVED. PATCH AND COVER SURFACES AS REQUIRED TO MATCH EXISTING

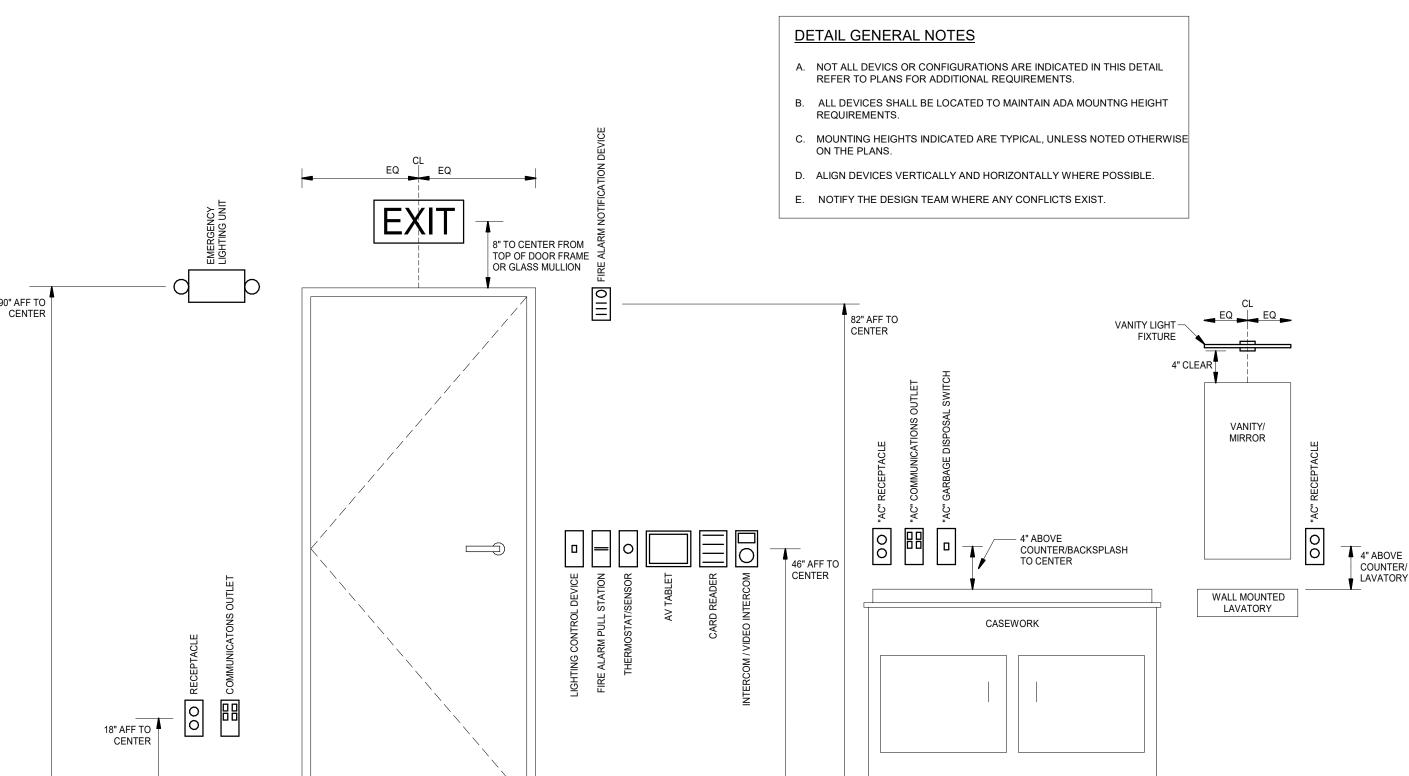
## **ELECTRICAL GENERAL NOTES**

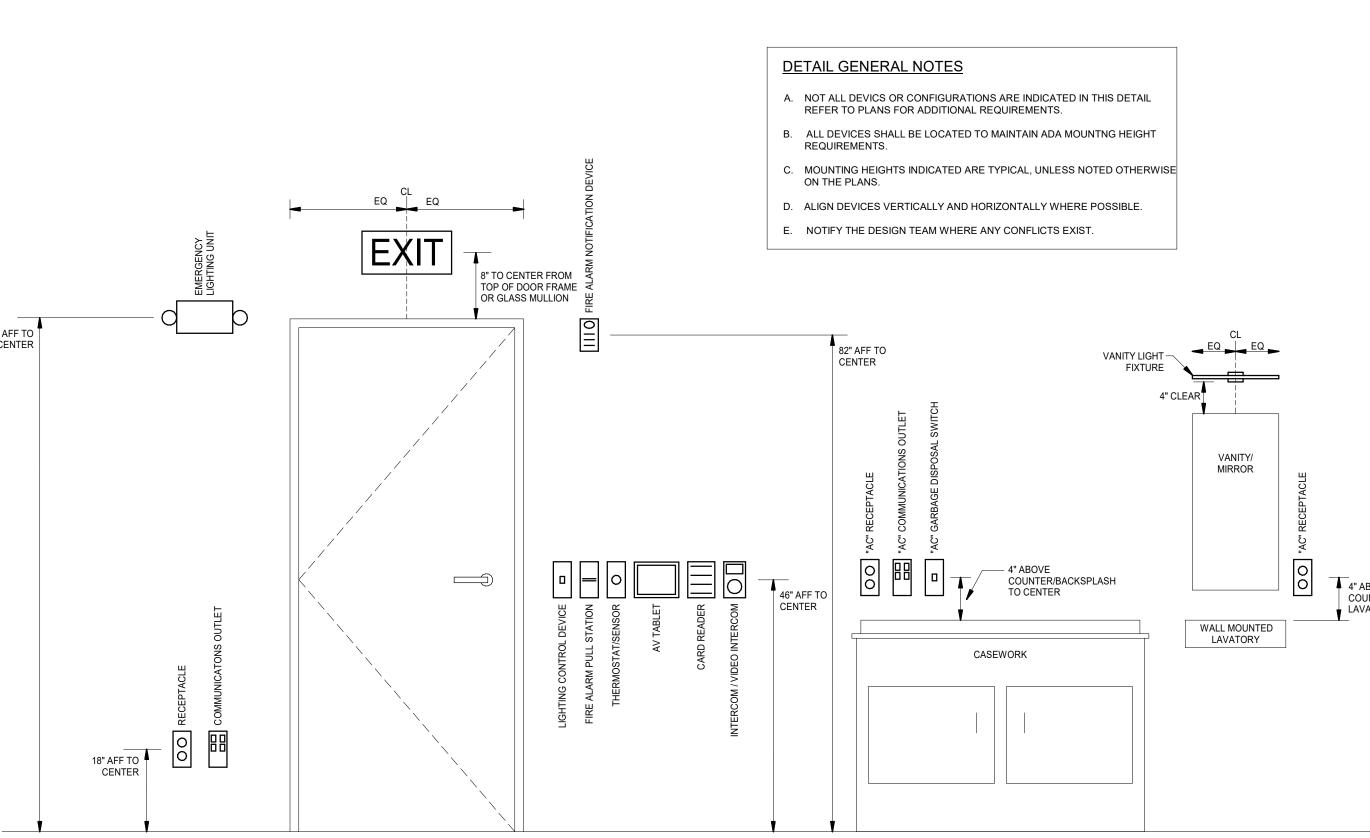
A THE FIRE ALARM SYSTEM IS AN ALTERNATE. PROVIDE IN BASE BID AND DELETE AS ALTERNATE.

B DATA AND TELEPHONE WIRING BY OWNER. THIS CONTRACTOR TO PROVIDE BOXES, CONDUITS, AND PULLSTRINGS.

## **LIGHTING GENERAL NOTES**

- A CONNECT EXIT LIGHTS, EMERGENCY POWER SUPPLY UNITS, EMERGENCY BATTERY UNIT FIXTURES, AND NIGHTLIGHT (NL) INDICATED FIXTURES UNSWITCHED TO THE CIRCUIT INDICATED
- B LOCATE REMOTE DRIVERS, WHERE PRESENT, FOR LUMINAIRES ABOVE THE NEAREST ACCESSIBLE CEILING, UNLESS OTHERWISE NOTED.
- C WHERE INDICATED, SUBSCRIPTS ON LIGHTING CONTROL DEVICES INDICATE CONTROL OF LUMINAIRES WITH CORRESPONDING SUBSCRIPTS WITHIN THE SAME ROOM.
- D WHERE DIMMING IS INDICATED, PROVIDE A DEDICATED LOAD CONTROLLER FOR EACH LIGHT FIXTURE TYPE WITHIN A ZONE.
- E WHERE LOW-VOLTAGE LIGHTING CONTROL WIRING IS REQUIRED BETWEEN DEVICES, IT SHALL BE PROVIDED PER MANUFACTURER'S INSTRUCTIONS. ROUTE CABLING ALONG ASSOCIATED LIGHTING CIRCUIT CONDUIT, SUPPORT USING PLASTIC TIES OR VELCRO STRAPS. 0-10V WIRING SHALL BE INSTALLED IN CONDUIT.
- F MOTION SENSORS SHALL BE INSTALLED A MINIMUM OF 6FT FROM HVAC DIFFUSERS. FIELD
- G MOTION SENSORS ARE INDICATED SCHEMATICALLY FOR COORDINATION AND ARE A MINIMUM. PROVIDE ADDITIONAL SENSORS AS REQUIRED FOR ROOM COVERAGE. CONNECT MOTION SENSORS WITHIN A ROOM TO CONTROL ALL LIGHTS WITHIN THE SAME ROOM, UNLESS
- H LOAD CONTROLLERS ARE INDICATED ON THE PLANS DIAGRAMMATICALLY FOR DRAWING CLARITY, LOCATE LOAD CONTROLLERS ABOVE AN ACCESSIBLE CEILING OR ADAJCENT TO SOURE PANEL OF ASSOCIATED NORMAL CIRCUITS. LOAD CONTROLLERS ARE PERMITTED TO BE INSTALLED IN FINISHED SPACES WITH EXPOSED CEILING WHERE APPROVED BY THE DESIGN
- I CONNECT INDOOR PHOTOCELLS TO CONTROL LIGHT FIXTURES WITHIN THE SAME DAYLIGHT
- J CONNECT LIGHTING CIRCUITS THROUGH LIGHTING CONTROLS WITHIN EACH ROOM TO CONTROL LIGHT FIXTURES, UNLESS OTHERWISE NOTED.







ARCHITECTURE

Design

PLANNING

WilkinsADP.com

**Engineering Technologies Inc. Mechanical & Electrical Building Solutions** 

825 M Street, Suite 200 | Lincoln, NE 68508

P 402-476-1273 | F 402-476-1274

ETI Project No: 2023-222

ELECTRICAL GENERAL INFORMATION Project Number: 2352

WILKINS Architecture|Design|Planning L.L.C.

EG0.0

Revision/Issu

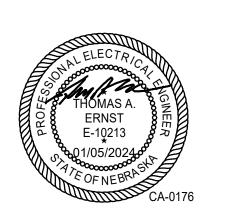
Copyright © 2023

# # SHEET NOTES

- 1 REMOVE MOTION SENSOR ALARM AND RETURN TO OWNER.
- 2 EXISTING SECURITY CAMERA TO BE REMOVED AND RETURNED TO OWNER. REMOVE ALL CABLING BACK TO SOURCE.
- 3 HANDICAPPED DOOR OPERATOR (HDO) TO BE REMOVED AND RELOCATED. SEE SHEET E2.1 FOR NEW LOCATION.
- 4 EXISTING SECURITY DISPLAY TO BE REMOVED AND RETURNED TO OWNER.
- 5 EXISTING WIRELESS ACCESS POINT TO BE REMOVED AND RETURNED TO OWNER.
- 6 REMOVE EXISTING PANEL AND REPLACE WITH NEW PANEL. SEE ELECTRICAL RISER DIAGRAM AND PANEL SCHEDULES ON SHEET
- 7 EXISTING KEY PAD TO BE REMOVED AND RETURNED TO OWNER.









FIRST FLOOR ELECTRICAL DEMOLITION PLAN

Project Number: 2352 Copyright © 2023
WILKINS Architecture|Design|Planning L.L.C.



	LIGHTING CONTROL SCHEDULE										
	s	IOTIO ENSO ETTINO	R			ING,	OL	ELL	ED SYSTEM	ТҮРЕ	
TAG	MANUAL ON	AUTO ON (%)	TIME-DELAY OFF (MIN)	LOCAL ON/OFF		DAYLIGHT HARVESTING WHERE INDICATED, (TARGET FOOTCANDLES)	TIME CLOCK CONTROL	EXTERIOR PHOTOCELL CONTROL	BUILDING NETWORKED LIGHTING CONTROL SYSTEM	EXAMPLE SPACE TY	NOTES
Α	-	100	20	Х	-	-	-	1	-	TOILETS	1
В	-	100	20	Х	Х	-	-	-	-	CORRIDOR	2
С		100	20	Х	Х					WAITING, LOBBY, RECEPTION	3
D		50	20	Х	Х					BREAK ROOM/ CONFERENCE	
						•					

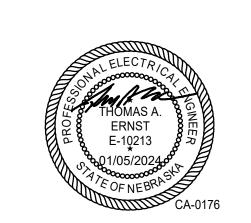
- - . WHERE A LOW VOLTAGE SWITCH IS INDICATED ON THE PLANS WITH NO SUBSCRIPT, PROVIDE A 2-BUTTON ON/OFF SWITCH TO CONTROL ALL LIGHTING IN A SPACE. WHERE SUBSCRIPTS ARE INDICATED ON A LOW VOLTAGE SWITCH, PROVIDE SEPARATE ON/OFF BUTTONS FOR EACH SUBSCRIPT (LIGHTING ZONE). WHERE DIMMING AND LOCAL ON/OFF IS INDICATED FOR A SPACE, PROVIDE LOW VOLTAGE SWITCH WITH

SEPARATE RAISE AND LOWER BUTTONS FOR EACH ZONE INDICATED ON THE LOW VOLTAGE SWITCH.

- WHERE DIMMING IS INDICATED, PROVIDE DIMMING LOAD CONTROLLERS COMPATIBLE WITH LIGHT FIXTURES BEING PROVIDED. PROVIDE A DIMMING LOAD CONTROLLER FOR EACH LIGHT FIXTURE TYPE WITHIN A COMMON DIMMING ZONE.
- REFER TO THE LIGHTING CONTROLS SPECIFICATION FOR ADDITIONAL REQUIREMENTS. PROGRAMMING SHALL BE COMPLETED PRIOR TO THE DESIGN TEAMS FINAL WALKTHROUGH OR BUILDING OCCUPANCY, WHICHEVER COMES FIRST. COORDINATE ADDITIONAL TRIPS REQUIRED WITH PROJECT PHASING.
- 1. PROVIDE MOTION SENSOR INTEGRAL TO LOCAL ON/OFF SWITCH.

(#)	SHEET	NOTES
(#)	<u> SIILLI</u>	NOILS

1 EXISTING CIRCUIT FOR EXTERIOR LIGHTS TO BE CONNECTED TO NEW CIRCUIT BREAKER IN NEW PANEL AS REQUIRED.



ARCHITECTURE

Design

PLANNING

WilkinsADP.com

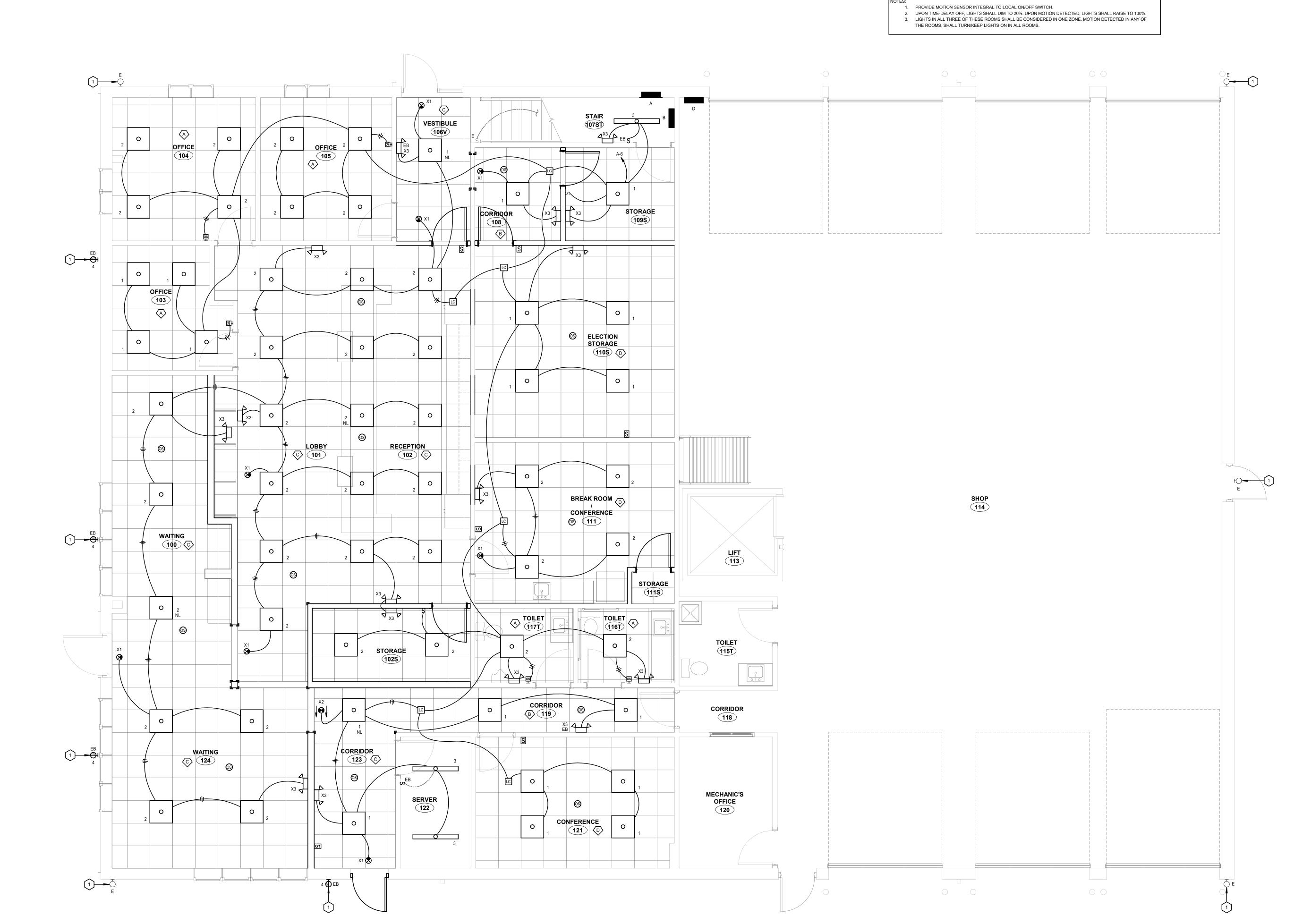


ETI Project No: 2023-222

FIRST FLOOR LIGHTING PLAN

Project Number: 2352 Copyright © 2023
WILKINS Architecture|Design|Planning L.L.C.





1 FIRST FLOOR - LIGHTING PLAN SCALE: 1/4" = 1'-0"

## **ELECTRICAL GENERAL NOTES**

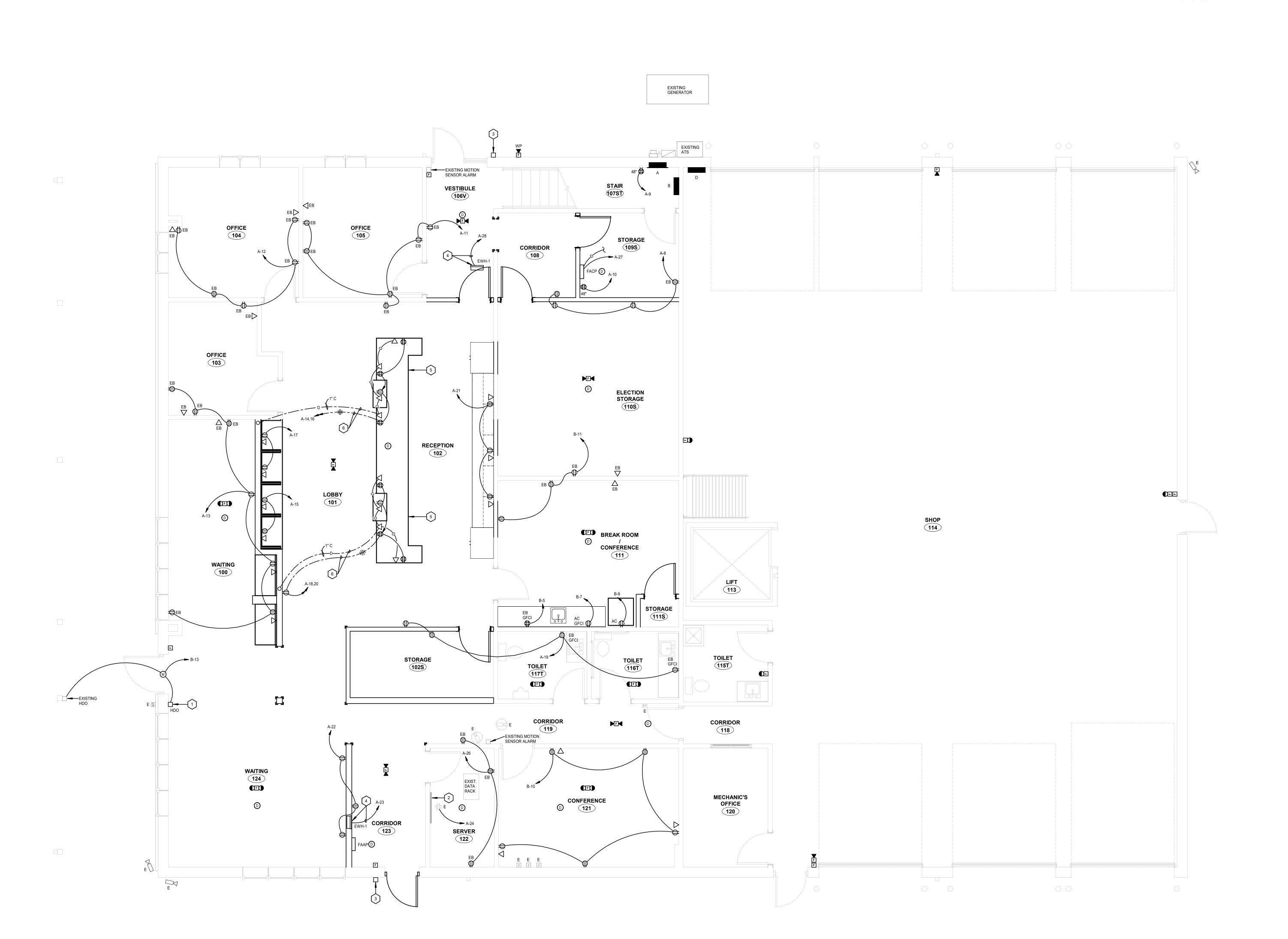
- A THE FIRE ALARM SYSTEM IS AN ALTERNATE. PROVIDE IN BASE BID AND DELETE AS ALTERNATE.

  B DATA AND TELEPHONE WIRING BY OWNER. THIS CONTRACTOR TO PROVIDE BOXES, CONDUITS, AND PULLSTRINGS.
- LECTRICAL GENERAL NOTES

## # SHEET NOTES

- 1 NEW LOCATION OF RELOCATED HANDICAPPED DOOR OPERATOR (HDO). EXTEND CABLING AS REQUIRED.
- 2 EXISTING TELECOM BOARD TO REMAIN.
- 3 PROVIDE BOX AND CONDUIT FOR KEYPAD/CARD READER.
- 4 PROVIDE QMARK AWH4408F WALL HEATER. PROVIDE #10 AWG, #10 GND IN 0.75" CONDUIT.
- 5 ALL BOXES FOR THE RECEPTACLES AND DATA IN THIS CASEWORK ARE EXISTING. REUSE BOXES AND CONDUIT. PROVIDE NEW DEVICE AND COVERPLATE.

  6 GENERAL CONTRACTOR TO CUT AND PATCH FLOOR FOR NEW ELECTRICAL. COORDINATE IN THE FIELD.



1 FIRST FLOOR - ELECTRICAL PLAN
E2.1 SCALE: 1/4" = 1'-0"

WILKINS

ARCHITECTURE

DESIGN

PLANNING

WilkinsADP.com





BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Hearney, Nebraska

Revision/Issu Date

e

FIRST FLOOR ELECTRICAL PLAN

Project Number: 2352

Date: January 05, 2024

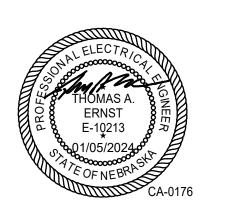
Copyright © 2023

WILKINS Architecture|Design|Planning L.L.C.

Sheet Jumber:









BUFFALO COUNTY
321 CENTRAL AVE REMODEL
Kearney, Nebraska

SECOND FLOOR ELECTRICAL PLAN

Project Number: 2352
Date: January 05, 2024

Copyright © 2023
WILKINS Architecture|Design|Planning L.L.C.

Sheet Number:

## **ELECTRICAL SPECIFICATIONS**

## SECTION 26 0101 - GENERAL ELECTRICAL REQUIREMENTS

#### A. RULES AND REGULATIONS

ALL WORK, MATERIALS, AND MANNER OF PLACING MATERIAL OF THIS CONTRACT SHALL BE IN STRICT ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (SEE PARTICULARLY PAMPHLETS 101, 70, AND 90A) AND WITH THE MUNICIPAL AND STATE LAWS AND ORDINANCES RELATING TO THIS WORK. ALL ELECTRICAL MATERIALS LISED IN THIS WORK SHALL BE APPROVED BY THE LINDERWRITER'S LABORATORIES AND SHALL BEAR THEIR LABEL OF APPROVAL. IN EVENT OF CONFLICT BETWEEN THE PLANS AND/OR SPECIFICATIONS AND GOVERNING LAWS OR ORDINANCES, THE MORE STRINGENT SHALL SUPERSEDE.

#### B. PERMITS, LICENSES, AND FEES

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL REQUIREMENTS AS TO PERMITS, LICENSES, FEES, CODES, AND ORDINANCES AND ARRANGE TO COMPLY WITH THEM. ALL PERMITS, LICENSES, FEES, AND INSPECTIONS REQUIRED FOR THE WORK UNDER THIS CONTRACT SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR UNLESS OTHERWISE

## C. GENERAL REQUIREMENTS

SEE DIVISION I PROJECT MANUAL OR ARCHITECTURAL AND CIVIL DRAWINGS FOR GENERAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO ALTERNATE BID ITEMS, ADMINISTRATIVE REQUIREMENTS, PROJECT REQUIREMENTS, AND CLOSEOUT SUBMITTALS.

## D. <u>WARRANTY</u>

THE CONTRACTOR SHALL WARRANT ALL MATERIAL AND WORKMANSHIP UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM RECEIPT OF WRITTEN FINAL ACCEPTANCE, UNLESS NOTED OTHERWISE. HE SHALL REPAIR OR REPLACE, FREE OF CHARGE, ANY APPARATUS WHICH SHALL BE DEFECTIVE DURING THAT PERIOD OF TIME, WHICH IS DEFECTIVE DUE TO FAULTY MATERIAL OR WORKMANSHIP.

## E. <u>SHOP DRAWINGS</u>

THE CONTRACTOR SHALL SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS AND PRODUCT DATA TO THE ARCHITECT/ENGINEER FOR APPROVAL OR SUBMIT DIGITAL INFORMATION ON SUBMITTAL EXCHANGE OR OTHER APPROVED DIGITAL DOCUMENTING SYSTEM. STAMP, DATE, AND SIGN EACH SUBMITTAL TO INDICATE SUBMITTAL IS IN CONFORMANCE WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS. SHOP DRAWINGS SHALL BE SUBMITTED FOR THE FOLLOWING ITEMS:

## WIRING DEVICES AND COVER PLATES

- 3. LIGHTING CONTROL DEVICES AND LAYOUT DRAWINGS 4. PANELBOARDS AND BREAKERS 5. FIRE ALARM EQUIPMENT AND LAYOUT DRAWINGS (MUST BE STAMPED AND SIGNED BY FIRE MARSHALL)
- THE ARCHITECT/ENGINEER SHALL BE THE SOLE AND FINAL JUDGE AS TO THE SUITABILITY OF ITEMS SUBSTITUTED FOR

## THOSE SPECIFIED. THE ENTIRE COST OF ALL CHANGES OF ANY TYPE DUE TO SUBSTITUTIONS FOR MATERIALS SPECIFIED SHALL BE BORNE BY THE CONTRACTOR AT NO EXTRA COST.

F. <u>RECORD DRAWINGS</u> SUBMIT A COMPLETE SET OF "AS-BUILT" RECORD DRAWINGS, THAT INCLUDES ALL ADDENDUMS, APPROVED CHANGE ORDERS, AND FIELD MODIFICATIONS THAT WERE MADE TO THE ORIGINAL CONSTRUCTION DOCUMENTS. RECORD ALL

## SECTION 26 0501 - MINOR ELECTRICAL DEMOLITION

THE ELECTRICAL CONTRACTOR SHALL REMOVE ALL ELECTRICAL EQUIPMENT, WIRING DEVICES, LIGHTING FIXTURES, MOUNTING HARDWARE, ASSOCIATED WIRING, AND CONDUIT IN ALL AREAS OF THE BUILDING UNDER GOING DEMOLITION AS A PART OF THIS PROJECT. ELECTRICAL CIRCUITS SHALL BE REMOVED TO SOURCE OF SUPPLY AND SHALL BE LEFT IN A SAFE CONDITION AND ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE. ELECTRICAL DEMOLITION WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR TO ENSURE THE SAFETY OF ALL WORKERS, OTHER PERSONNEL, AND PUBLIC FROM ANY HAZARD WITH RESPECT TO THE ELECTRICAL SYSTEM. PROVIDE BLANK COVER PLATES ON ALL ABANDONED BOXES.

COORDINATE ALL DOWNTIMES OF ELECTRICAL SYSTEMS WITH THE OWNER, UTILITY COMPANIES, AND LOCAL FIRE

## SECTION 26 0519 - CONDUCTORS AND CABLES

ALL WIRE AND CABLE SHALL BE SOFT DRAWN, COPPER WIRE WITH 600 VOLT INSULATION. WIRE AND CABLE SHALL BE TYPE THHN/THWN OR THHN/THWN-2. EXCEPT AS INDICATED BELOW: a. SIZE 4 AWG OR LARGER: TYPE XHHW-2 b. INSTALLED UNDERGROUND: TYPE XHHW-2

NO WIRES SMALLER THAN #12 SHALL BE USED, UNLESS NOTED OTHERWISE, EXCEPT #14 AWG MAY BE USED FOR CONTROL WIRING. ALL WIRING SHALL BE COLOR CODED PER N.E.C. ARTICLE 210-5. SPECIAL SYSTEM WIRE SHALL BE OF TYPE AND SIZE SPECIFIED ELSEWHERE IN THIS SPECIFICATION OR SHOWN ON THE DRAWINGS. ALL WIRE #10 AWG AND SMALLER SHALL BE SOLID COPPER AND ALL WIRE #8 AWG AND LARGER SHALL BE STRANDED COPPER WIRE.

## SECTION 26 0526 - GROUNDING AND BONDING

ALL NEUTRAL CONDUCTORS, CONDUIT SYSTEMS, CABINETS, EQUIPMENT, MOTOR FRAMES, AND OTHER ELECTRICAL EQUIPMENT SHALL BE GROUNDED AND BONDED IN ACCORDANCE WITH N.E.C AND MUNICIPAL CODES AND ORDINANCES. PROVIDE A GREEN INSULATED GROUNDING CONDUCTOR IN ALL CONDUITS. SIZE OF GROUNDING CONDUCTOR SHALL BE IN ACCORDANCE WITH THE NEC. INCREASE SIZE AS REQUIRED FOR VOLTAGE DROP.

## SECTION 26 0529 - HANGERS AND SUPPORTS

PROVIDE ALL REQUIRED HANGERS, SUPPORTS, ANCHORS, FASTENERS, ETC., AS REQUIRED TO SECURE AND SUPPORT RACEWAYS AND EQUIPMENT, IN ACCORDANCE WITH THE NEC. DO NOT USE WIRE, CHAIN, PERFORATED PIPE STRAP, WOOD, POWDER ACTUATED OR RED ANCHORS FOR PERMANENT SUPPORTS. UNLESS NOTED OTHERWISE, DO NOT SUPPORT FROM PIPING OR HVAC DUCTWORK. ALL HANGERS, SUPPORTS, ANCHORS, FASTENERS, ETC., SHALL BE GALVANIZED AND UL LISTED FOR THE APPLICATION.

# SECTION 26 0534 - CONDUIT

ALL WIRING SHALL BE INSTALLED IN EMT CONDUIT RACEWAYS UNLESS OTHERWISE INDICATED HEREIN. ALL CONDUIT RUNS SHOWN ARE DIAGRAMMATIC, EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD. ALL RACEWAYS SHALL BE SIZED PER THE N.E.C. NO CONDUIT SMALLER THAN 3/4 INCH SHALL BE PERMITTED FOR POWER DISTRIBUTION WIRING, EXCEPT 1/2" CONDUIT MAY BE USED FOR EXIT LIGHTS, "SWITCH LEGS", FRACTIONAL HORSEPOWER EQUIPMENT, AND WHERE NOTED ON THE DRAWINGS OR IN OTHER SPEC. SECTIONS. FLEXIBLE CONDUIT, 3/8" MINIMUM SIZE, MAY BE USED FOR FIXTURE WHIPS. ALL WIRING INSTALLED BELOW CONCRETE SLABS ON GRADE, ALL ABOVE GRADE EXTERIOR WIRING. AND ALL WIRING EXPOSED TO MOISTURE OR PHYSICAL DAMAGE SHALL BE INSTALLED IN RIGID STEEL CONDUIT OR INTERMEDIATE METAL. ALL EXTERIOR UNDERGROUND WIRING TO BE INSTALLED IN SCHEDULE 40 OR SCHEDULE 80 RIGID PVC CONDUIT UNLESS OTHERWISE NOTED. ALL MOTOR CONNECTIONS (24 INCH MAXIMUM LENGTH) TO BE MADE WITH FLEXIBLE CONDUIT. USE LIQUIDTIGHT FLEXIBLE METAL CONDUIT IN DAMP AND WET LOCATIONS. ALL OTHER WIRING SHALL BE INSTALLED IN THIN WALL CONDUIT (E.M.T.). ALL STEEL COMPRESSION OR SET SCREW FITTINGS SHALL BE USED.

CONDUITS SHALL BE INSTALLED CONCEALED IN OR ABOVE CEILING OR BELOW CONCRETE FLOORS AND WITHIN WALLS. NO RACEWAY LARGER THAN 3/4 INCH SHALL BE INSTALLED WITHIN CONCRETE SLABS ON GRADE. INSTALLATION OF RACEWAYS IN REINFORCED CONCRETE SHALL COMPLY WITH AMERICAN CONCRETE INSTITUTION STANDARD NO. 318. EXPOSED CONDUIT WILL BE ALLOWED ONLY OVERHEAD IN ROOMS WITH UNFINISHED CEILINGS, FOR DROPS TO MOTORS ON WALL FOR CONNECTION TO SURFACE-MOUNTED PANELBOARDS OR SWITCHBOARDS OR CABINETS, IN ELECTRICAL EQUIPMENT ROOMS, AND WHERE NOTED ON THE PLANS.

SUPPORT CONDUITS IN ACCORDANCE WITH THE NEC AND SPEC. SECTION 26 0529. DO NOT SUPPORT CONDUITS FROM HVAC DUCTWORK OR PIPING. PROVIDE EXPANSION FITTINGS, FIRESTOPPING, MODULAR SEALS, SLEEVES, TRENCHING, WARNING TAPE, PULLSTRINGS IN EMPTY CONDUITS, ETC. AS REQUIRED FOR A COMPLETE CONDUIT AND RACEWAY

# SECTION 26 0537 - BOXES

# A. GENERAL REQUIREMENTS

1. PROVIDE ALL BOXES, FITTINGS, SUPPORTS, AND ACCESSORIES REQUIRED FOR A COMPLETE RACEWAY SYSTEM AND TO ACCOMMODATE DEVICES AND EQUIPMENT TO BE INSTALLED.

2. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.

3. WHERE BOX SIZE IS NOT INDICATED, SIZE TO COMPLY WITH NFPA 70, BUT NOT LESS THAN APPLICABLE MINIMUM SIZE

4. PROVIDE GROUNDING TERMINALS WITHIN BOXES WHERE EQUIPMENT GROUNDING CONDUCTORS TERMINATE.

5. USE NEMA OS1 SHEET STEEL BOXES FOR DRY LOCATION, COMPLYING WITH UL 514A.

6. USE NEMA FB1 CAST IRON BOXES OR CAST ALUMINUM BOXES FOR DAMP OR WET LOCATIONS UNLESS OTHERWISE INDICATED OR REQUIRED, COMPLYING WITH UL 514A. FURNISH WITH COMPATIBLE WEATHERPROOF GASKETED

7. DO NOT USE "THROUGH-WALL" BOXES DESIGNATED FOR ACCESS FROM BOTH SIDES OF WALL.

TO BE SUPPORTED. 9. MINIMUM BOX SIZE, UNLESS OTHERWISE INDICATED:

8. BOXES FOR SUPPORTING LUMINARIES AND CEILING FANS. LISTED AS SUITABLE FOR THE TYPE AND WEIGHT OF LOAD

a. WIRING DEVICES AND COMMUNICATIONS SYSTEMS OUTLETS, 4 INCH SQUARE BY 2-1/8 INCH DEEP (100 BY 54MM) TRADE SIZE, UNLESS NOTED OTHERWISE b. CEILING OUTLETS: 4 INCH OCTAGONAL OR SQUARE BY 2-1/8 INCH DEEP (100 BY 54MM) TRADE SIZE.

B. <u>CABINETS AND ENCLOSURES, INCLUDING JUNCTION AND PULL BOXES LARGER THAN 100 CUBIC INCHES</u>

# 1. COMPLY WITH NEMA 250, AND LIST AND LABEL AS COMPLYING WITH UL 50 AND UL 50E, OR UL 508A.

1. LOCATE BOXES SO THAT WALL PLATES DO NOT SPAN DIFFERENT BUILDING FINISHES.

2. LOCATE BOXES SO THAT WALL PLATES DO NOT CROSS MASONRY JOINTS.

3. UNLESS OTHERWISE INDICATED, WHERE MULTIPLE OUTLET BOXES ARE INSTALLED AT THE SAME LOCATION AT DIFFERENT MOUNTING HEIGHTS, INSTALL ALONG A COMMON VERTICAL CENTER LINE.

4. DO NOT INSTALL FLUSH MOUNTED BOXES ON OPPOSITE SIDES OF WALLS BACK-TO-BACK. PROVIDE MINIMUM 24 INCHES HORIZONTAL SEPARATION UNLESS OTHERWISE NOTED.

5. ACOUSTIC-RATED WALLS: DO NOT INSTALL FLUSH MOUNTED BOXES ON OPPOSITE SIDES OF WALLS BACK-TO-BACK. PROVIDE MINIMUM 24 INCHES HORIZONTAL SEPARATION.

6. FIRE RESISTANCE RATED WALLS. INSTALL FLUSH MOUNTED BOXES SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.

## SECTION 26 0553 - IDENTIFICATION FOR ELECTRICAL SYSTEMS PROVIDE ENGRAVED THREE-LAYER LAMINATED PLASTIC NAME PLATES WITH WHITE LETTERS ON BLACK BACKGROUND FOR

EACH PANELBOARD, SWITCHBOARD AND BREAKERS, ENCLOSED SWITCH, LIGHTING CONTROL PANELS, OR MOTOR CONTROLLER.

# SECTION 26 0923 - LIGHTING CONTROL DEVICES

# A. GENERAL REQUIREMENTS

1. PROVIDE PRODUCTS LISTED, CLASSIFIED, AND LABELED AS SUITABLE FOR THE PURPOSE INTENDED.

2. PROVIDE A DISTRIBUTED, LOW-VOLTAGE, DIGITAL SYSTEM WITH LOAD CONTROLLERS THAT CONTROL LIGHTING INDICATED ON THE DRAWINGS. LINK LOAD CONTROLLERS AS PART OF A NETWORKED LIGHTING CONTROL SYSTEM WHERE INDICATED ON THE LIGHTING CONTROL SCHEDULE. SYSTEM SHALL CONSIST OF WIRED COMPONENTS, WIRELESS IS NOT PERMITTED.

3. UNLESS SPECIFICALLY INDICATED TO BE EXCLUDED, PROVIDE ALL REQUIRED POWER PACKS, CONDUIT. WIRING. CONNECTORS, HARDWARE COMPONENTS, ACCESSORIES, ETC. AS REQUIRED FOR A COMPLETE OPERATING SYSTEM.

4. SEE SCHEDULES ON DRAWINGS FOR REQUIRED LIGHTING CONTROL DEVICES. PROVIDE CUT SHEETS OF ANY AND ALL DEVICES CONSIDERED EQUAL TO ENGINEER FOR REVIEW AT LEAST 10 DAYS PRIOR TO BID DATE.

5. MANUFACTURERS a. ACUITY BRANDS LIGHTING

> b. WATTSTOPPER d. INTELLIGENT LIGHTING CONTROLS

## B. <u>INSTALLATION</u>

1. INSTALL LIGHTING CONTROL DEVICES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. 2. INSTALL LIGHTING CONTROL DEVICES PLUMB AND LEVEL AND HELD SECURELY IN PLACE.

C. OCCUPANCY SENSORS

1. PROVIDE THE FOLLOWING TYPE OF SENSOR PER AREA, UNLESS INDICATED OTHERWISE: a. OFFICES: DUAL TECHNOLOGY

CLASSROOMS / MEETING ROOMS: DUAL TECHNOLOGY RESTROOMS: DUAL TECHNOLOGY

CORRIDORS & VESTIBULES: PASSIVE INFRARED e. OTHER AREAS: AS RECOMMENDED BY THE MANUFACTURER

2. LOCATION ADJUSTMENTS. LOCATIONS INDICATED ARE DIAGRAMMATIC AND ONLY INTENDED TO INDICATE WHICH ROOMS OR AREAS REQUIRE DEVICES. PROVIDE QUANTITY AND LOCATIONS AS REQUIRED FOR COMPLETE COVERAGE OF RESPECTIVE ROOM OR AREA BASED ON MANUFACTURER'S RECOMMENDATIONS FOR INSTALLED DEVICES. 3. LOCATE ULTRASONIC AND DUAL TECHNOLOGY PASSIVE INFRARED/ULTRASONIC OCCUPANCY SENSORS A MINIMUM OF

4 FEET FROM AIR SUPPLY DUCTS OR OTHER SOURCES OF HEAVY AIR FLOW AND AS PER MANUFACTURER'S

#### RECOMMENDATIONS. D. INDOOR DAYLIGHTING CONTROLS

1. CONTROL SYSTEM CONSISTING OF PHOTO SENSORS AND COMPATIBLE LOAD CONTROLLERS OR RELAYS AS REQUIRED FOR AUTOMATIC CONTROL OF LOAD INDICATED ACCORDING TO AVAILABLE NATURAL LIGHT; CAPABLE OF INTEGRATING

WITH MOTION SENSORS AND MANUAL OVERRIDE CONTROLS. 2. DAYLIGHTING CONTROL PHOTO SENSORS: LOW-VOLTAGE CLASS 2 PHOTO SENSOR UNITS WITH OUTPUT PROPORTIONAL TO THE MEASURED LIGHT LEVEL AND PROVISION FOR ZERO OR OFFSET BASED SIGNAL. RANGE SHALL

#### BE FROM 5 TO 100 FOOTCANDLES. E. <u>ADJUSTING</u>

1. ADJUST DEVICES AND WALL PLATES TO BE FLUSH AND LEVEL.

2. ADJUST OCCUPANCY SENSOR SETTINGS TO MINIMIZE UNDESIRED ACTIVATIONS WHILE OPTIMIZING ENERGY SAVINGS, AND TO ACHIEVE DESIRED FUNCTION AS INDICATED OR AS DIRECTED BY ENGINEER.

3. WHERE INDICATED OR AS DIRECTED BY ARCHITECT, INSTALL FACTORY MASKING MATERIAL OR ADJUST INTEGRAL BLINDERS ON PASSIVE INFRARED (PIR) AND DUAL TECHNOLOGY (DT) OCCUPANCY SENSOR LENSES TO BLOCK UNDESIRED MOTION DETECTION.

F. CLOSEOUT ACTIVITIES 1. DEMONSTRATE PROPER OPERATION OF LIGHTING CONTROL DEVICES TO ENGINEER AND CORRECT DEFICIENCIES OR

2. TRAINING: TRAIN OWNER'S PERSONNEL ON OPERATION, ADJUSTMENT, PROGRAMMING, AND MAINTENANCE OF LIGHTING CONTROL DEVICES. PROVIDE A MINIMUM OF TWO HOURS OF TRAINING.

## SECTION 26 2416 - PANELBOARDS

MAKE ADJUSTMENTS AS DIRECTED.

ALL PANELBOARDS SHALL BE MANUFACTURED BY SQUARE "D" OR EQUAL. ALL PANELS SHALL BE DEAD FRONT WITH CIRCUIT BREAKERS IN ACCORDANCE WITH SCHEDULES AND NOTATIONS SHOWN ON THE DRAWINGS. ALL PANELS SHALL HAVE A COPPER BUS AND AN EQUIPMENT GROUND BUS. LOAD CENTER PANELS ARE NOT ACCEPTABLE.

ALL CABINETS, WIRING GUTTERS, ETC., SHALL BE IN STRICT ACCORDANCE WITH THE STANDARD PRACTICE OF THE NEMA AND THE NATIONAL ELECTRIC CODE. ALL BRANCH CIRCUIT WIRING IN PANELS SHALL BE NEATLY RACKED IN THE WIRING GUTTERS. PROVIDE HINGED DOOR-IN-DOOR PANEL TRIMS FOR EACH PANELBOARD.

ALL CIRCUIT BREAKERS SHALL HAVE A QUICK-MAKE AND BREAK MECHANISM WITH NON-WELDING SILVER ALLOY CONTACTS. AUTOMATIC TRIPPING SHALL BE CLEARLY INDICATED BY THE HANDLE. THE FACE OF EACH BREAKER SHALL BE COMMON TYPE AND EXTERNAL HANDLE TIES WILL NOT BE PERMITTED. ALL CIRCUIT BREAKERS SHALL BE BOLT ON TYPE. BRANCH CIRCUIT BREAKERS SHALL HAVE A MINIMUM INTERRUPTING CAPACITY OF 10,000 AMPS RMS, UNLESS NOTED ITHERWISE. NO HALF SIZE OR TANDEM BREAKERS WILL BE ACCEPTED. PROVIDE CIRCUIT BREAKERS UL LISTED AS TYPE HACR FOR AIR CONDITIONING EQUIPMENT BRANCH CIRCUITS. WHEN PANELS ARE SCHEDULED TO HAVE SPARES, THE BREAKER SHALL BE INSTALLED IN THE PANELBOARD. PROVIDE ACCESSORIES, AS NOTED ON DRAWINGS.

ALL PANELBOARDS AND CIRCUIT BREAKERS SHALL BE FULLY RATED. SERIES RATING IS NOT ACCEPTABLE.

PROVIDE A TYPED WRITTEN CIRCUIT DIRECTORY FOR EACH PANELBOARD.

# SECTION 26 2726 - WIRING DEVICES

## A. <u>SWITCHES</u>

SINGLE POLE, SURFACE MOUNT AND FLUSH WALL TOGGLE SWITCHES SHALL BE 20 AMP, 120/277 VOLT AC SPECIFICATION THREE-WAY, FOUR-WAY AND MULTIPLE POLE SWITCHES, WHERE REQUIRED, SHALL BE OF THE SAME TYPE AND RATING AS

B. <u>RECEPTACLES</u>

DEVICES SHALL BE AS FOLLOWS:

GENERAL CONVENIENCE RECEPTACLES SHALL BE 20 AMPERE, 125 VOLT, 3-WIRE GROUNDING TYPE, DUPLEX SPECIFICATION GRADE RECEPTACLES WITH U-SHAPED SLOT FOR GROUNDING PRONG. COLOR TO BE WHITE.

USB CHARGING DEVICES SHALL BE DECORA STYLE, COMPATIBLE WITH TWO PORT USB CHARGING SLOTS, UL 1310 LISTED. PROVIDE CLASS A, 20 AMP GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE DUPLEX RECEPTACLES WHERE NOTED ON DRAWINGS. PROVIDE WEATHER RESISTANT DEVICES, AS REQUIRED BY CODE.

TAMPER-RESISTANT DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE UL DEVICES, WITH SHUTTER MECHANISM TO

DETER INSERTION OF SMALL OBJECTS. INSTALL IN AREAS AS REQUIRED BY THE NEC.

FLUSH PLATES SHALL BE NYLON REINFORCED PLASTIC AND SHALL SUIT THE SINGLE DEVICES AND BE GANGED FOR ALL GANGED DEVICES AS SHOWN ON THE DRAWINGS. COLOR TO BE WHITE. SURFACE BOXES IN UNFINISHED AREAS SHALL BE PROVIDED WITH 1/2" RAISED 4" SQUARE GALVANIZED STEEL COVERS.

WEATHERPROOF DEVICE PLATES SHALL BE GASKETED, CAST ALUMINUM. PROVIDE WHILE-IN-USE RATED COVERS, WHERE

D. LOCATIONS OF OUTLETS, SWITCHES, AND OTHER DEVICES

OUTLETS MUST BE CENTERED WITH REGARD TO PANELING, FURRING, AND TRIM. ANY OUTLET WHICH IS IMPROPERLY LOCATED MUST BE CORRECTED AT THE CONTRACTOR'S EXPENSE. OUTLETS MUST BE SET VERTICAL AND PLUMB AND SHALL EXTEND TO THE FINISHED SURFACE OF THE WALL, CEILING, OR FLOOR AS THE CASE MAY BE WITHOUT PROJECTING BEYOND SAME. RECEPTACLES, SWITCHES AND OTHER WIRING DEVICES SHOWN ON WOOD TRIM, CASES, OR OTHER FIXTURES SHALL BE INSTALLED SYMMETRICALLY ON SUCH TRIM OR FIXTURE AND WHERE NECESSARY, SHALL BE SET WITH THE LONG DIMENSION OF THE PLATE HORIZONTAL, OR SHALL BE GANGED IN TANDEM.

MOUNTING HEIGHTS TO CENTER OF BOX ABOVE FINISHED FLOOR FOR THE BELOW NAMED ITEMS SHALL BE AS FOLLOWS UNLESS OTHERWISE INDICATED:

GENERAL FLUSH SWITCHES GENERAL CONVENIENCE RECEPTACLES TELEPHONE/DATA/TV OUTLETS

OUTLETS ABOVE COUNTERS 6" ABOVE BACKSPLASH FIRE ALARM HORNS/STROBES FIRE ALARM MANUAL PULL PANELBOARDS TO TOP

# SECTION 26 5100 - INTERIOR LUMINARIES

PROVIDE LUMINARIES AS SCHEDULED ON THE DRAWINGS OR AN APPROVED EQUAL. LUMINARIES SHALL BE COMPLETE WITH MOUNTING HARDWARE, LAMPS, WIRING, BALLAST/DRIVER, REFLECTORS. LENSES, HOUSING, CONTROL DEVICES, AND OTHER COMPONENTS. PROVIDE STANDARD FINISH UNLESS OTHERWISE NOTED.

COMPONENTS: UL 8750 RECOGNIZED OR LISTED AS APPLICABLE, TESTED IN ACCORDANCE WITH IES LM-79 AND LM-80. LED ESTIMATED USEFUL LIFE: MINIMUM OF 50,000 HOURS AT 80 PERCENT LUMEN MAINTENANCE CALCULATED BASED ON

# SECTION 26 5600 - EXTERIOR LIGHTING

PROVIDE LUMINARIE AS SCHEDULED ON THE DRAWING OR APPROVED EQUAL. LUMINAIRES SHALL BE COMPLETE WITH LAMPS, SOCKETS, BALLAST/DRIVER, REFLECTORS, LENSES, HOUSINGS, CONTROL DEVICES AND OTHER COMPONENTS. PROVIDE LUMINARIES LISTED AND LABEL AS SUITABLE FOR WET LOCATIONS UNLESS OTHERWISE INDICATED.

A. <u>LED LUMINAIRE</u>

COMPONENTS: UL 8750 RECOGNIZED OR LISTED AS APPLICABLE, TESTED IN ACCORDANCE WITH IES LM-79 AND LM-80. LED ESTIMATED USEFUL LIFE: MINIMUM OF 50,000 HOURS AT 80 PERCENT LUMEN MAINTENANCE CALCULATED BASE ON IES

# SECTION 28 3100 - FIRE DETECTION AND ALARM

FURNISH AND INSTALL AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED A COMPLETE AND READY TO OPERATE ADDRESSABLE FIRE ALARM SYSTEM. THE SYSTEM SHALL BE IN ACCORDANCE WITH NFPA PAMPHLETS NO. 72 AND WITH ALL APPLICABLE REQUIREMENTS OF THE STATE AND LOCAL FIRE PREVENTION BUREAU. ALL EQUIPMENT SHALL BE U.L. LABELED. ALL EQUIPMENT SHALL BE COMPATIBLE. ALL WIRING SHALL BE IN CONDUIT, 1/2" MINIMUM SIZE.

FIRE ALARM SYSTEM SHALL BE COMPLETE WITH ALL NECESSARY ITEMS AS MAY BY REQUIRED FOR A COMPLETE AND

READY-TO-OPERATE SYSTEM. INCLUDING TWO TELEPHONE LINES FOR FIRE ALARM COMMUNICATOR. THE FIRE ALARM MANUFACTURER SHALL PROVIDE CUSTOMIZED WIRING DIAGRAMS WITH TERMINAL TO TERMINAL DESIGNATIONS, EQUIPMENT SUBMITTALS, ON-THE-JOB SUPERVISION OF INSTALLATION AS REQUIRED. UPON COMPLETION OF THE INSTALLATION, MAKE ANY ADJUSTMENTS AS MAY BE REQUIRED FOR PROPER OPERATION OF THE SYSTEM AND EQUIPMENT. THE FINAL TEST OF THE SYSTEM SHALL BE CONDUCTED IN THE PRESENCE OF THE OWNER AND FIRE MARSHAL. PROVIDE A MINIMUM OF TWO HOURS OF TRAINING TO OWNER IN THE OPERATION AND MAINTENANCE OF SYSTEM. THE FIRE ALARM MANUFACTURER SHALL WARRANT ALL EQUIPMENT FOR A PERIOD OF TIME (1) ONE YEAR UPON ACCEPTANCE OF THE SYSTEM BY THE OWNER AND SHALL PROVIDE ALL ON-THE-JOB SERVICE INCIDENTAL TO THE OPERATION OF THE SYSTEM FREE OF CHARGE FOR A PERIOD OF ONE (1) YEAR.

THE SYSTEM WIRING AND INSTALLATION SHALL BE IN COMPLIANCE WITH THE APPLICABLE CODES, ARCHITECT'S DRAWINGS AND RECOMMENDATIONS OF THE MANUFACTURER. ALL WIRING SHALL BE COLOR CODED, TAGGED AND CHECKED TO ASSURE THAT IT IS FREE FROM FAULTS.

## FIRE ALARM ADDRESSABLE COMPONENTS SHALL BE COMPATIBLE AS FOLLOWS:

FIRE ALARM PANEL - <u>SIEMENS FC922</u> OR EQUAL BY NOTIFIER OR SILENT KNIGHT

2. FIRE ALARM STROBE - CANDELA AS REQUIRED TO MEET ADA, NAG, AND NFPA REQUIREMENTS 3. FIRE ALARM STROBE/HORN - ADJUSTABLE CANDELA AND DBA AS REQUIRED TO MEET ADA, NAG, AND NFPA REQUIREMENTS

4. FIRE ALARM STROBE/SPEAKER - ADJUSTABLE CANDELA AND DBA AS REQUIRED TO MEET ADA, NAG, AND NFPA REQUIREMENTS 5. PULL STATIONS - ADDRESSABLE, DOUBLE ACTION

S. SMOKE DETECTORS - ADDRESSABLE, PHOTO-ELECTRIC TYPE COMBINATION CO/SMOKE DETECTORS - ADDRESSABLE, PHOTO-ELECTRIC TYPE AND CO SENSOR 11. LOW FREQUENCY SOUNDER BASE - PROVIDE IN ALL SLEEPING AREAS PER THE NFPA

ANNUNCIATOR, AS NOTED ON THE DRAWINGS.

COMPLIANT SYSTEM.

12. HEAT DETECTORS - ADDRESSABLE, RATE-OF-RISE 13. DUCT MOUNTED SMOKE DETECTORS - PHOTO-ELECTRIC TYPE, WITH SENSING TUBES EXTENDING WIDTH OF DUCT AND REMOTE TEST STATIONS. WHERE DETECTORS ARE NOT READILY ACCESSIBLE 14. GUEST ROOM SMOKE DETECTORS - COMBINATION PHOTO-ELECTRIC SMOKE DETECTOR AND CO SENSOR 15. FIRE ALARM ANNUNCIATION PANEL SHALL BE GRAPHIC STYLE, LED TYPE. PROVIDE FLUSH OR SURFACE MOUNTED

REQUIREMENTS BEFORE BID AND PROVIDE ALL NECESSARY APPURTENANCES AS MAY BE REQUIRED FOR A FULLY CODE

FOR SURFACE MOUNTED INITIATION AND NOTIFICATION DEVICES. PROVIDE MATCHING BACKBOX BY FIRE ALARM MANUFACTURER. DO NOT USE 4" SQUARE BOXES WITH PLASTER RINGS FOR SURFACE DEVICES. FIELD VERIFY EXACT

ALL EXISTING ZONES SHALL BE RECONNECTED TO NEW FIRE ALARM PANEL. FIELD VERIFY EXACT REQUIREMENTS BEFORE BID AND PROVIDE ALL NECESSARY APPURTENANCES AS MAY BE REQUIRED FOR A FULLY CODE COMPLIANT SYSTEM. A. FIRE ALARM SYSTEM

FURNISH AND INSTALL AS SHOWN ON THE DRAWINGS AND HERIN SPECIFIED, AN EXTENSION TO THE EXISTING FIRE ALARM SYSTEM. EXISTING FIRE ALARM SYSTEM IS A NOTIFIER 5000 SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA PAMPHLETS NO. 72 AND WITH ALL APPLICABLE REQUIREMENTS OF THE STATE OF NEBRASKA AND THE LOCAL FIRE PREVENTION BUREAU. ALL EQUIPMENT AND COMPONENTS SHALL BE UL LABELED AND SHALL BE COMPATIBLE WITH THE EXISTING SYSTEM. ALL WIRING SHALL BE IN CONDUIT, 1/2" MINIMUM SIZE.

FIRE ALARM COMPONENTS SHALL BE COMPLETE WITH ALL NECESSARY ITEMS AS MAY BE REQUIRED FOR A COMPLETE AND READY-TO-OPERATE SYSTEM.

	LIGHT FIXTURE SCHEDULE													
1	RAL NOTES: MOUNTING HEIGHT IS TO BOTTOM OF LIGHT FIXTURE, UNLESS S:	OTHERWI	SE NOTED.											
TYPE	DESCRIPTION	LAMP	COLOR TEMP.	LUMENS	WATTS	MOUNTING	MANUFACTURER	CATALOG NUMBER	ACCEPTABLE MANUFACTURERS	NOTES				
1	2 X 2 FLAT PANEL WITH 0 - 10V DIMMING	LED	3,500	2,205	20	RECESSED	METALUX	22FP2135C	-					
2	2 X 2 FLAT PANEL WITH 0 - 10V DIMMING	LED	3,500	2,610	20	RECESSED	METALUX	22FP2535HE	-					
3	4 FT LINEAR, 0 - 10V DIMMING	LED	3,500	4,000	28	SURFACE	LITHONIA	CLX-L48-4000LM-SEF-RDL-MVOLT-GZ10-35K-80CRI-WH	METALUX, COLUMBIA					
4	FULL CUT-OFF WALL PACK WITH PHOTOCELL	LED	4,000	1,650	13	WALL MOUNTED	LITHONIA	WPXO LED ALO-SWW2-MVOLT-PE-DDBXD						
X1	SINGLE FACE EXIT SIGN WITH EMERGENCY BATTERY	LED	-	-	1.4	TOP, BACK, OR END	LITHONIA	LE-S-1-R-ELN	SURE-LITES, DUAL-LITE, CHLORIDE					
X2	DOUBLE FACE EXIT SIGN WITH EMERGENCY BATTERY	LED	-	-	1.4	TOP, BACK, OR END	LITHONIA	LE-S-2-R-ELN	SURE-LITES, DUAL-LITE, CHLORIDE					
Х3	EMERGENCY LIGHT WITH EMERGENCY BATTERY	LED	-	-	3.3	WALL MOUNTED @ 7'-6" AFF	LITHONIA	ELM4L-UVOLT-LTP	SURE-LITES, DUAL-LITE, CHLORIDE					

				F	PAN	EL	SCH	IED	ULE					
PANEL A		VOLT	AGE	PHASE						10	KAIC RI	MS	200 A	MAIN BREAKER
		120 /	240V	1Ø		3 WII	RE, SOLI	D NE	JTRAL					FLUSH MOUNTED
	LO	AD.	E	BREAKE	₹		5		Е	BREAKE	₹	LO	DAC	
LOAD DESCRIPTION	VA	TYPE	POLES	AMPS	TYPE	NO.	PHASE	NO.	TYPE	AMPS	POLES	TYPE	VA	LOAD DESCRIPTION
PANEL C	750	Р	2	100	-	1	Α	2	-	20	1			SPACE ONLY
-	750	Р	-	-	-	3	В	4	-	20	1			SPACE ONLY
WELDER	3,600	Х	2	50	-	5	Α	6	-	20	1	L	1,104	1ST FLOOR LIGHTING
-	3,600	Х	-	-	-	7	В	8	-	20	1	R	720	RECEPTS 109E
RECEPTS 107ST	360	R	1	20	-	9	Α	10	-	20	1	R	360	RECEPTS 109E
RECEPTS 105, 106V	1,080	R	1	20	-	11	В	12	-	20	1	R	900	RECEPTS 103, 104
RECEPTS 103, 100	1,080	R	1	20	-	13	Α	14	-	20	1	R	720	RECEPTS 101,102
RECEPTS TESTING	360	R	1	20	-	15	В	16	-	20	1	R	540	RECEPTS 101,102
RECEPTS TESTING	360	R	1	20	-	17	Α	18	-	20	1	R	720	RECEPTS 101,102
RECEPTS 116T, 117T	720	R	1	20	-	19	В	20	-	20	1	R	540	RECEPTS 101,102
RECEPTS 102	540	R	1	20	-	21	Α	22	-	20	1	R	540	RECEPTS 123,124
EWH-1 123	2,000	Х	2	25	-	23	В	24	-	20	1	R	360	RECEPTS 122
-	2,000	Х	-	-	-	25	Α	26	-	20	1	R	540	RECEPTS 122
FACP	500	Х	1	20	LN	27	В	28	-	25	2	Х	2,000	EWH-1 106V
SPARE	1,000	S	1	20	-	29	Α	26	-	-	-	Х	2,000	-
SPARE	1,000	S	1	20	-	31	В	32	-	20	1	S	1,000	SPARE
SPARE	1,000	S	1	20	-	33	Α	34	-	20	1	S	1,000	SPARE
SPARE	1,000	S	1	20	-	35	В	36	-	20	1	S	1,000	SPARE
SPARE	1,000	S	1	20	-	37	Α	38	-	20	1	S	1,000	SPARE
PANEL B	2,508	Р	2	100	-	39	В	40	-	40	2	М	4,210	RTU ON GROUND
-	2,508	Р	-	-	-	41	Α	42	-	-	-	M	4,210	
							-							
LOAD INFO	ORMATION	1		A = A	FCI; G =	GFCI	A/G = A	FCI/G	FCI; ST =	SHUNT	TRIP; LI	N = LOC	CK-ON; LF	= LOCK-OFF
	NO	DTES:												
OTAL CONNECTED LOA	D	50	209	ĺ	1.									
EST. MAX DEMAND		42	173											

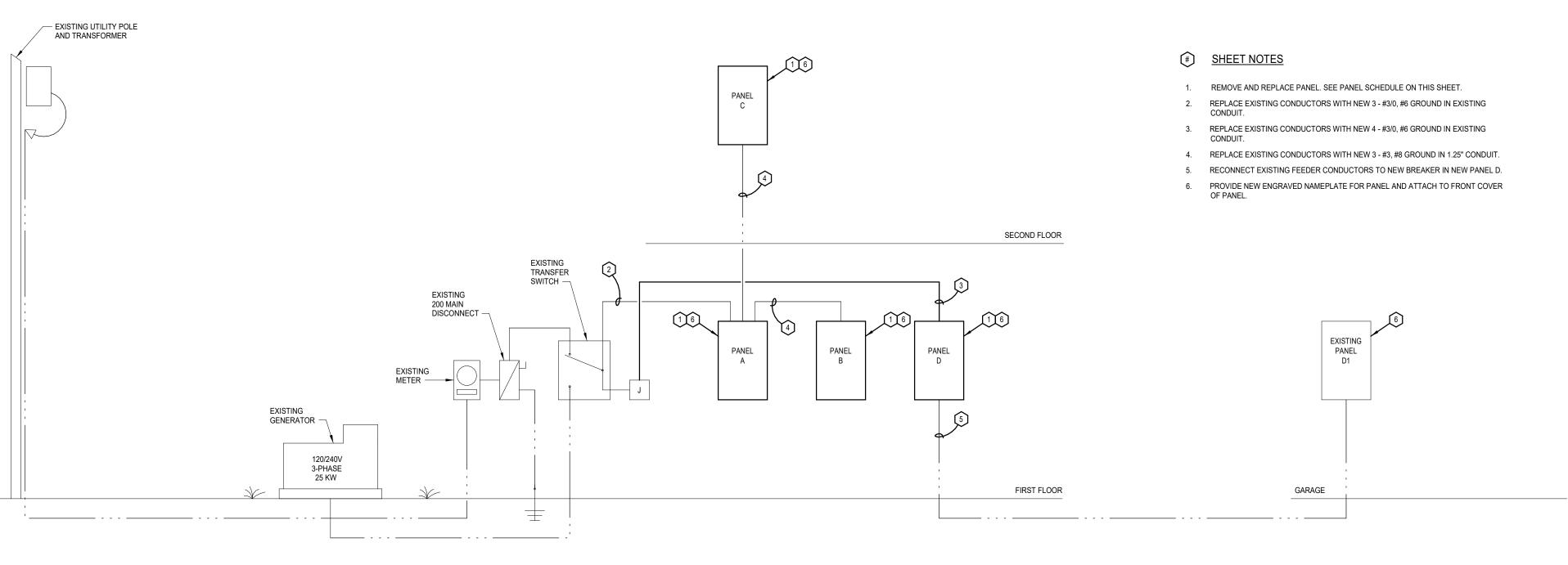
				F	PAN	EL	SCH	ED	ULE	<u>:</u>				
PANEL B		VOLT	AGE	PHASE						10	KAIC RI	MS	225 A	MAIN LUGS
		120 /	240V	1Ø		3 WII	RE, SOLI	D NEU	JTRAL					SURFACE MOUNTED
	LO	AD.	E	BREAKER	₹		5	HASE NO.	Е	BREAKER		LC	DAD	
LOAD DESCRIPTION	VA	TYPE	POLES	AMPS	TYPE	NO.	PHASE		TYPE	AMPS	POLES	TYPE	VA	LOAD DESCRIPTION
SHOP HEAT		Х	1	20	-	1	Α		-	30	2	Х		PRESS
LOBBY HEAT		Х	1	20	-	3	В	4	-	-	-	Х		
RECEPTS 111	1,000	R	1	20	-	5	Α	6	-	20	2	Х		LOBBY HEAT
RECEPTS 111	1,000	R	1	20	-	7	В	8	-	-	-	Х		
REFRIGERATOR 111	1,200	R	1	20	-	9	Α	10	-	20	1	R	900	RECEPTS 12°
RECEPTS 111, 110S	540	R	1	20	-	11	В	12	-	20	1	S	1,000	SPARE
HDO	500	Х	1	20	-	13	Α	14	-	20	1	S	1,000	SPARE
SPARE	1,000	S	1	20	-	15	В	16	-	20	1	S	1,000	SPARE
SPARE	1,000	S	1	20	-	17	Α	18	-	20	1	S	1,000	SPARE
SPARE	1,000	S	1	20	-	19	В	20	-	20	1	S	1,000	SPARE
SPARE	1,000	S	1	20	-	21	Α	22	-	20	1	S	1,000	SPARE
SPACE ONLY			1	20	-	23	В	24	-	20	1			SPACE ONLY
SPACE ONLY			1	20	-	25	Α	26	-	20	1			SPACE ONLY
SPACE ONLY			1	20	-	27	В	28	-	20	1			SPACE ONLY
SPACE ONLY			1	20	-	29	Α	30	-	20	1			SPACE ONLY
LOAD INFO	RMATION	1		A = A	FCI; G =	GFCI;	A/G = A	FCI/GI	FCI; ST =	SHUNT	TRIP; LI	N = LOC	CK-ON; LF	= LOCK-OFF
	NO	DTES:												
TOTAL CONNECTED LOAI	)	15	63		1.									
EST. MAX DEMAND		5	21											

PANEL C		VOLT	AGE	PHASE						10	KAIC RI	MS	100 A	MAIN LUC
		120 /	240V	1Ø		3 WII	RE, SOLI	D NE	JTRAL					SURFACE MO
LOAD DECODIDATION	LO	AD.	Е	BREAKE	R	NO.	PHASE	- 100	Е	BREAKER		LC	DAD	LOAD DECC
LOAD DESCRIPTION	VA	TYPE	POLES	AMPS	TYPE	NO.		NO.	TYPE	AMPS	POLES	TYPE	VA	LOAD DESC
TYPESETTING RM #4			1	15	-	1	Α	2	-	15	1			TYPESETTIN
TYPESETTING RM #5			1	15	-	3	В	4	-	15	1	L		EVIDENCE
EXTR WALL PACKS		L	2	20	-	5	Α	6	-	15	1	R		NORTH OFFICE
-		L	-	-	-	7	В	8	-	15	1	R		SOUTH OFFICE
SPARE	1,000	S	1	20	-	9	Α	10	-	15	1	М		FI
SPARE	1,000	S	1	20	-	11	В	12	-	20	1	S	1,000	
SPACE ONLY			1	20	-	13	Α	14	-	20	1			SPAC
SPACE ONLY			1	20	-	15	В	16	-	20	1			SPAC
SPACE ONLY			1	20	-	17	Α	18	-	20	1			SPAC
LOAD INFO		ı		Δ = Δ	FCI: G =	GECI	· A/G = A	FCI/G	FCI: ST :	SHUNT	TRIP: I I	N = I OC	CK-ON- LE	= LOCK-OFF
LOAD INFO		OTES:	0, 0,	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	1 01/0	1 01, 01	0110111	11til , E		) ( O 1 1, E	20011 011			
TOTAL CONNECTED LOAD			AMPS 13	'``	1.									
EST. MAX DEMAND		2	6	İ										

				F	PAN	EL	SCH	IED	ULE					
PANEL D		VOLT	AGE	PHASE						10	KAIC R	MS	200 A	MAIN BREAKER
		120 /	240V	3Ø		4 WI	RE, SOLI	D NE	JTRAL					SURFACE MOUNTED
LOAD DECODIDATION	LO	AD.	E	BREAKE	I	DUAGE	N/O		BREAKE	R	LOAD		LOAD DECODIDE	
LOAD DESCRIPTION	VA	TYPE	POLES	AMPS	TYPE	NO.	PHASE	NO.	TYPE	AMPS	POLES	TYPE	VA	LOAD DESCRIPTION
HOIST		Х	2	30	-	1	Α	2	-	20	2	Х		EXIST LOAD
-		Х	-	-	-	3	В	4	-	-	-	Х		
SPACE ONLY	-	-	-	-	-	5	С	6	-	-	-	-	-	SPACE ONLY
EXIST LOAD		Х	1	20	-	7	Α	8	-	30	2	Х		EXIST LOAD
EXIST LOAD		Х	1	20	-	9	В	10	-	-	-	Х		
EXIST LOAD		Х	3	20	-	11	С	12	-	-	-	-	-	SPACE ONLY
-		Х	-	-	-	13	Α	14	-	20	2	Х		EXIST LOAD
-		Х	-	-	-	15	В	16	-	-	-	Х		
SPACE ONLY	-	-	-	-	-	17	С	18	-	-	-	-	-	SPACE ONLY
EXIST LOAD		Х	1	20	-	19	Α	20	-	20	1	Х		GENERATOR
EXIST LOAD		Х	1	20	-	21	В	22	-	20	1	S		SPARE
SPACE ONLY	-	-	-	-	-	23	С	24	-	-	-	-	-	SPACE ONLY
PANEL D1 (GARAGE)		Р	2	100	-	25	Α	26	-	30	2	Х		BIG ASS FAN
-		Р	-	-	-	27	В	28	-	-	-	Х		
SPACE ONLY	-	-	-	-	-	29	С	30	-	-	-	-	-	SPACE ONLY
SPARE	1,000	S	1	20	-	31	Α	32	-	20	1	S		SPARE
SPARE	1,000	S	1	20	-	33	В	34	-	20	1	S		SPARE
SPACE ONLY	-	-	-	-	-	35	С	36	-	-	-	-	-	SPACE ONLY
			1	20	-	37	Α	38	-	20	1	Х		
			1	20	-	39	В	40	-	20	1	Х		
SPACE ONLY	-	-	-	-	-	41	С	42	-	-	-	-	-	SPACE ONLY
,														
LOAD INFO	RMATION	1		A = A	FCI; G =	GFCI	; A/G = A	FCI/G	FCI; ST :	= SHUNT	TRIP; L	N = LO	CK-ON; LF	= LOCK-OFF
		KVA	AMPS	NO	OTES:									
TOTAL CONNECTED LOAD	)	2	5	1	1.	PRO	VIDE EN	GRAV	ED WAF	RNING PI	LATE TH	AT REA	ADS, "HIGH	HLEG IS PRESENT.
EST. MAX DEMAND			4	1		DO N	NOT USE	FOR	120V LO	ADS".				

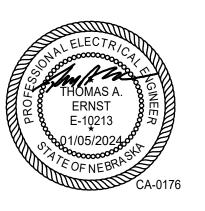
THERE WAS NO CIRCUIT DIRECTORY FOR THIS PANEL. CONTRACTOR SHALL

TRACE OUT EXISTING CIRCUITS AND PROVIDE CORRECT LABELLING.





 $\mathsf{A}\mathsf{R}\mathsf{C}\mathsf{H}\mathsf{I}\mathsf{T}\mathsf{E}\mathsf{C}\mathsf{T}\mathsf{U}\mathsf{R}\mathsf{E}$ PLANNING WilkinsADP.com







**ELECTRICAL SCHEDULES** & DETAILS

Project Number: 2352 January 05, 2024 Copyright © 2023 WILKINS Architecture | Design | Planning L.L.C.